

**CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD
SAN DIEGO REGION**

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**Clean Water Act Section 401 Water Quality Certification
and Waste Discharge Requirements
for Discharge of Dredged and/or Fill Materials**

**PROJECT: Vista Terrace Marketplace
Certification Number R9-2018-0082
WDID: 900003300**

Reg. Meas. ID: 421363
Place ID: 847192
Party ID: 577348
Person ID: 577349

**APPLICANT: RJR Vacaville, LLC
c/o Blacklion Investment Group
1180 South Beverly Drive, Suite 700
San Diego, CA 92108**

ACTION:

<input checked="" type="checkbox"/> Order for Low Impact Certification	<input type="checkbox"/> Order for Denial of Certification
<input type="checkbox"/> Order for Technically-conditioned Certification	<input type="checkbox"/> Waiver of Waste Discharge Requirements
<input checked="" type="checkbox"/> Enrollment in SWRCB GWDR Order No. 2003-017-DWQ	<input type="checkbox"/> Enrollment in Isolated Waters Order No. 2004-004-DWQ

PROJECT DESCRIPTION

An application dated April 27, 2018 was submitted by RJR Vacaville LLC (hereinafter Applicant), for Water Quality Certification pursuant to section 401 of the Clean Water Act (33 U.S.C. § 1341) for the proposed **Vista Terrace Marketplace** Project (Project). The Applicant has also applied for Clean Water Act section 404 Nationwide Permit No. 39 from the United States Army Corps of Engineers (SPL-2018-00309-AWS) for the Project.

The Project consists of development of a 2.6 acre vacant lot for a supermarket and associated facilities at 1400 East Vista Way in the City of Vista, California. The Project's center reading is as follows:

- latitude 33.219966, longitude -117.226836

The Applicant has paid all required fees for this Certification in the amount of \$1,500.00. On October 2, 2018, the San Diego Water Board provided public notice of the Project application pursuant to California Code of Regulations, title 23, section 3858 by posting information describing the Project on the San Diego Water Board's web site and providing a period of twenty-one days for public review and comment. No comments were received.

The Applicant proposes to construct an approximately 26,616-square-foot neighborhood supermarket building and associated improvements which includes a loading dock, trash

enclosure, asphalted parking and drive areas, planter areas, and concrete sidewalks and driveways on a 2.6 acre lot. The existing soft-bottom channel will be undergrounded into two 3-foot by 6-foot wide concrete box culverts that will cross the property from east to west and outlet into an existing concrete line ditch on the west side of the property. Duration of construction time is estimated to be seven months.

Receiving waters potentially affected by the Project are protected in accordance with water quality standards in the *Water Quality Control Plan for the San Diego Basin (9)* (Basin Plan). This Certification authorizes permanent and temporary impacts to waters of the United States and/or State affected by the Project and requires compensatory mitigation to offset adverse impacts as described in section VI of the Certification. The temporary impacts will be restored by the Applicant to pre-Project conditions and do not include physical loss of aquatic resource area or degradation of ecological conditions. Compensatory mitigation to offset the permanent loss of jurisdictional waters will be achieved through the Applicant's purchase of mitigation bank credits from the Brook Forest Mitigation Bank (Bank) in advance of Project construction. Mitigation credit parcels, purchased from the Bank to satisfy compensatory mitigation requirements, are required to be protected, monitored, and maintained in perpetuity by the Bank pursuant to a federal and State approved bank enabling instrument and a recorded conservation easement. Based on all of these considerations, the Applicant's compliance with the terms and conditions of this Certification will ensure that the water quality standards for all waters of the United States and/or State impacted by the Project are met.

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- 2. Project Location Maps**
- 3. Project Site Plans**
- 4. CEQA Mitigation Monitoring and Reporting Program**

The San Diego Water Board has independently reviewed the record of the Project to analyze the extent and nature of proposed Project impacts to the water quality and beneficial uses of waters of the United States and/or State and associated compensatory mitigation required to offset impacts attributed to the Project. In accordance with this Certification, the Applicant may proceed with the Project under the following terms and conditions:

I. STANDARD CONDITIONS

Pursuant to section 3860 of title 23 of the California Code of Regulations, the following three standard conditions apply to all water quality certification actions:

- A. This Certification action is subject to modification or revocation upon administrative or judicial review, including review and amendment pursuant to section 13330 of the Water Code and chapter 28, article 6 (commencing with title 23, section 3867), of the California Code of Regulations.
- B. This Certification action is not intended and shall not be construed to apply to any discharge from any activity involving a hydroelectric facility and requiring a Federal Energy Regulatory Commission (FERC) license or an amendment to a FERC license unless the pertinent Certification application was filed pursuant to California Code of Regulations title 23, section 3855 subdivision (b), and that application specifically identified that a FERC license or amendment to a FERC license for a hydroelectric facility was being sought.
- C. This Certification action is conditioned upon total payment of any fee required under title 23, chapter 28 (commencing with section 3830) of California Code of Regulations and owed by the applicant.

II. GENERAL CONDITIONS

- A. **Term of Certification.** Water Quality Certification No. R9-2018-0082 (Certification) shall expire upon a) the expiration or retraction of the Clean Water Act section 404 (33 U.S.C. §1344) permit issued by the U.S. Army Corps of Engineers for this Project, or b) five (5) years from the date of issuance of this Certification, whichever occurs first.
- B. **Duty to Comply.** The Applicant must comply with all conditions and requirements of this Certification. Any Certification noncompliance constitutes a violation of the Water Code and is grounds for enforcement action or Certification termination, revocation and reissuance, or modification.
- C. **General Waste Discharge Requirements.** The requirements of this Certification are enforceable through Water Quality Order No. 2003-0017-DWQ, *Statewide General Waste Discharge Requirements for Discharges of Dredged or Fill Material that have Received State Water Quality Certification* (Water Quality Order No. 2003-0017-DWQ). This provision shall apply irrespective of whether a) the federal permit for which the Certification was obtained is subsequently retracted or is expired, or b) the Certification is expired. Water Quality Order No. 2003-0017-DWQ is accessible at:

http://www.waterboards.ca.gov/water_issues/programs/cwa401/docs/generalorders/gowdr401regulated_projects.pdf

- D. **Project Conformance with Application.** All water quality protection measures and BMPs described in the application and supplemental information for water quality certification are incorporated by reference into this Certification as if fully stated herein. Notwithstanding any more specific conditions in this Certification, the Applicant shall construct, implement and comply with all water quality protection measures and BMPs described in the application and supplemental information. The conditions within this Certification shall supersede conflicting provisions within the application and supplemental information submitted as part of this Certification action.
- E. **Project Conformance with Water Quality Control Plans or Policies.** Notwithstanding any more specific conditions in this Certification, the Project shall be constructed in a manner consistent with the Basin Plan and any other applicable water quality control plans or policies adopted or approved pursuant to the Porter Cologne Water Quality Act (Division 7, commencing with Water Code Section 13000) or section 303 of the Clean Water Act (33 U.S.C §1313.). The Basin Plan is accessible on-line at:

http://www.waterboards.ca.gov/sandiego/water_issues/programs/basin_plan/index.shtml

- F. **Project Modification.** The Applicant must submit any changes to the Project, including Project operation, which would have a significant or material effect on the findings, conclusions, or conditions of this Certification, to the San Diego Water for prior review and written approval. If the San Diego Water Board is not notified of a significant change to the Project, it will be considered a violation of this Certification
- G. **Certification Distribution Posting.** During Project construction, the Applicant must maintain a copy of this Certification at the Project site. This Certification must be available at all times to site personnel and agencies. A copy of this Certification shall also be provided to any contractor or subcontractor performing construction work, and the copy shall remain in their possession at the Project site.
- H. **Inspection and Entry.** The Applicant must allow the San Diego Water Board or the State Water Resources Control Board, and/or their authorized representative(s) (including an authorized contractor acting as their representative), upon the presentation of credentials and other documents as may be required under law, to:
1. Enter upon the Project or Compensatory Mitigation site(s) premises where a regulated facility or activity is located or conducted, or where records must be kept under the conditions of this Certification;
 2. Have access to and copy, at reasonable times, any records that must be kept under the conditions of this Certification;
 3. Inspect, at reasonable times, any facilities, equipment (including monitoring and control equipment), practices, or operations regulated or required under this Certification; and

4. Sample or monitor, at reasonable times, for the purposes of assuring Certification compliance, or as otherwise authorized by the Clean Water Act or Water Code, any substances or parameters at any location.
- I. **Enforcement Notification.** In the event of any violation or threatened violation of the conditions of this Certification, the violation or threatened violation shall be subject to any remedies, penalties, process or sanctions as provided for under State law. For purposes of section 401(d) of the Clean Water Act, the applicability of any State law authorizing remedies, penalties, process or sanctions for the violation or threatened violation constitutes a limitation necessary to assure compliance with the water quality standards and other pertinent requirements incorporated into this Certification.
- J. **Certification Actions.** This Certification may be modified, revoked and reissued, or terminated for cause including but not limited to the following:
1. Violation of any term or condition of this Certification;
 2. Monitoring results indicate that continued Project activities could violate water quality objectives or impair the beneficial uses of the unnamed tributary to San Vicente Creek or their tributaries;
 3. Obtaining this Certification by misrepresentation or failure to disclose fully all relevant facts;
 4. A change in any condition that requires either a temporary or permanent reduction or elimination of the authorized discharge; and
 5. Incorporation of any new or revised water quality standards and implementation plans adopted or approved pursuant to the Porter-Cologne Water Quality Control Act or section 303 of the Clean Water Act.
- The filing of a request by the Applicant for modification, revocation and reissuance, or termination, or a notification of planned changes or anticipated noncompliance does not stay any Certification condition.
- K. **Duty to Provide Information.** The Applicant shall furnish to the San Diego Water Board, within a reasonable time, any information which the San Diego Water Board may request to determine whether cause exists for modifying, revoking and reissuing, or terminating this Certification or to determine compliance with this Certification.
- L. **Property Rights.** This Certification does not convey any property rights of any sort, or any exclusive privilege.
- M. **Petitions.** Any person aggrieved by this action of the San Diego Water Board may petition the State Water Resources Control Board (State Water Board) to review the action in accordance with the California Code of Regulations, title 23, sections 3867 and following. The State Water Board must receive the petition by 5:00 p.m., 30 days after

the date of this Certification. Copies of the law and regulations applicable to filing petitions may be found on the Internet at:
http://www.waterboards.ca.gov/public_notices/petitions/water_quality or will be provided upon request.

III. CONSTRUCTION AND POST CONSTRUCTION BEST MANAGEMENT PRACTICES

- A. **Construction Requirements.** Prior to start of Project construction, the Applicant must, as applicable, obtain coverage under, and comply with, the requirements of State Water Resources Control Board Water Quality Order No. 2009-0009-DWQ, the General Permit for Storm Water Discharges Associated with Construction and Land Disturbance Activity (General Construction Storm Water Permit) and any reissuance. If Project construction activities do not require coverage under the General Construction Storm Water Permit, the Applicant must develop and implement a pollution control plan, construction BMP plan, and/or erosion and sediment control plan to prevent the discharge of sediment and other pollutants during construction activities.
- B. **Post-Construction Requirements.** The Project must meet all the Post-Construction requirements of the San Diego Water Board Order No. R9-2013-0001 (and amendments) National Pollutant Discharge Elimination Systems Permit and Waste Discharge Requirements for Discharges from the Municipal Separate Storm Sewer Systems (MS4) Draining the Watersheds within the San Diego Region (Regional MS4 Permit).
- C. **Waste Management.** Except for a discharge permitted under this Certification, the dumping, deposition, or discharge of trash, rubbish, unset cement or asphalt, concrete, grout, damaged concrete or asphalt, concrete or asphalt spoils, wash water, organic or earthen material, steel, sawdust or other construction debris waste from Project activities directly into waters of the United States and or State, or adjacent to such waters in any manner which may permit its being transported into the waters, is.
- D. **Downstream Erosion.** Discharges of concentrated flow during construction or after Project completion must not cause downstream erosion or damage to properties or stream habitat.
- E. **Process Water.** Water containing mud, silt, or other pollutants from equipment washing or other activities, must not be discharged to waters of the United States and/or State or placed in locations that may be subjected to storm water runoff flows. Pollutants discharged to areas within a stream diversion must be removed at the end of each work day or sooner if rain is predicted.
- F. **Surface Water Diversion.** All surface waters, including ponded waters, must be diverted away from areas of active grading, construction, excavation, vegetation removal, and/or any other activity which may result in a discharge to the receiving water. Diversion activities must not result in the degradation of beneficial uses or exceedance of the receiving water quality objectives. Any temporary dam or other artificial obstruction constructed must only be built from materials such as clean gravel

which will cause little or no siltation. Normal flows must be restored to the affected stream immediately upon completion of work at that location.

IV. PROJECT IMPACTS AND COMPENSATORY MITIGATION

A. **Project Impacts and Compensatory Mitigation.** Unavoidable Project impacts to an unnamed tributary to San Vicente Creek within the San Dieguito Watershed must not exceed the type and magnitude of impacts described in the table below. At a minimum, compensatory mitigation required to offset unavoidable temporary and permanent Project impacts to waters of the United States and/or State must be achieved as described in the table below:

	Impacts (acres)	Impacts (linear ft.)	Mitigation for Impacts (acres)	Mitigation Ratio (area mitigated :area impacted)	Mitigation for Impacts (linear ft.)	Mitigation Ratio (linear feet mitigated :linear feet impacted)
Permanent Impacts						
Streambed	0.04	313	0.10 Re-establishment ¹	2.5:1	NA ²	NA ²

NA – Not applicable

1. Project compensatory mitigation re-establishment credits will be purchased from the Brook Forest Mitigation Bank, Valley Center, CA.
2. Compensatory mitigation is being provided in a contiguous area at the Brook Forest Mitigation Bank (approximately 26.4 acres); therefore, compensatory mitigation for linear feet is not being calculated on a project by project basis.

B. **Mitigation Credit Purchase.** Prior to the start of construction, the Applicant must provide documentation to the San Diego Water Board verifying the purchase of at least 0.10 acre of credit of establishment and/or re-establishment of wetland waters of the U.S. and/or State from the Brook Forest Mitigation Bank. The use of an alternate mitigation bank to provide required compensatory mitigation must be approved by the San Diego Water Board before the credits are secured and is subject to the following conditions:

1. The Applicant must identify the USACE approved mitigation bank and submit documentation demonstrating that:
 - a. The permitted Project impacts are located within the service area of the mitigation bank; and
 - b. The mitigation bank has the appropriate number and resource type of credits available.
2. If San Diego Water Board approval of the use of the alternate mitigation bank is obtained, the Applicant must provide documentation verifying that the appropriate number and resource type of credits have been secured from the mitigation bank prior to the start of construction.

C. **Temporary Project Impact Areas.** The Applicant must restore all areas of temporary impacts and all other areas of temporary disturbance which could result in a discharge or a threatened discharge of pollutants to waters of the United States and/or State.

Restoration must include grading of disturbed areas to pre-project contours and re-vegetation with native species. The Applicant must implement all necessary BMPs to control erosion and runoff from areas associated with the Project.

V. MONITORING AND REPORTING REQUIREMENTS

- A. **Annual Project Progress Reports.** The Applicant must submit annual Project progress reports describing compliance with all requirements of this Certification to the San Diego Water Board prior to **May 1** of each year following the issuance of this Certification, until the Project has reached completion. The report must include the following information:
1. The names, qualifications, and affiliations of the persons contributing to the report;
 2. The status, progress, and anticipated schedule for completion of Project construction activities;
 3. A description of Project construction delays encountered or anticipated that may affect the schedule for construction completion; and
 4. A description of each incident of noncompliance during the annual monitoring period and its cause, the period of the noncompliance including exact dates and times, and if the noncompliance has not been corrected, the anticipated time it is expected to continue; and the steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance.
- B. **Final Project Completion Report.** The Applicant must submit a Final Project Completion Report to the San Diego Water Board **within 30 days of completion** of the Project. The final report must include the following information:
1. Date of construction initiation;
 2. Date of construction completion;
 3. As-built drawings of the Project, no bigger than 11"X17"; and
 4. Photo documentation of implemented post-construction BMPs and all areas of permanent and temporary impacts, prior to and after project construction. Photo documentation must be conducted in accordance with guidelines posted at http://www.waterboards.ca.gov/sandiego/water_issues/programs/401_certification/docs/401c/401PhotoDocRB9V713.pdf. In addition, photo documentation must include Global Positioning System (GPS) coordinates for each of the photo points referenced.
- C. **Reporting Authority.** The submittal of information required under this Certification, or in response to a suspected violation of any condition of this Certification, is required pursuant to Water Code section 13267 and 13383. Civil liability may be administratively imposed by the San Diego Water Board for failure to submit information pursuant to

Water Code sections 13268 or 13385.

- D. **Electronic Document Submittal.** The Applicant must submit all reports and information required under this Certification in electronic format via e-mail to SanDiego@waterboards.ca.gov. Documents over 50 megabytes will not be accepted via e-mail and must be placed on a disc and delivered to:

California Regional Water Quality Control Board
San Diego Region
Attn: 401 Certification No. R9-2018-0082:847192:amonji
2375 Northside Drive, Suite 100
San Diego, California 92108

Each electronic document must be submitted as a single file, in Portable Document Format (PDF), and converted to text searchable format using Optical Character Recognition (OCR). All electronic documents must include scanned copies of all signature pages; electronic signatures will not be accepted. Electronic documents submitted to the San Diego Water Board must include the following identification numbers in the header or subject line: Certification No. R9-2018-0082:847192:amonji.

- E. **Document Signatory Requirements.** All applications, reports, or information submitted to the San Diego Water Board must be signed as follows:
1. For a corporation, by a responsible corporate officer of at least the level of vice president.
 2. For a partnership or sole proprietorship, by a general partner or proprietor, respectively.
 3. For a municipality, or a state, federal, or other public agency, by either a principal executive officer or ranking elected official.
 4. A duly authorized representative may sign applications, reports, or information if:
 - a. The authorization is made in writing by a person described above.
 - b. The authorization specifies either an individual or position having responsibility for the overall operation of the regulated activity.
 - c. The written authorization is submitted to the San Diego Water Board Executive Officer.

If such authorization is no longer accurate because a different individual or position has responsibility for the overall operation of the Project, a new authorization satisfying the above requirements must be submitted to the San Diego Water Board prior to or together with any reports, information, or applications, to be signed by an authorized representative.

- F. **Document Certification Requirements.** All applications, reports, or information submitted to the San Diego Water Board must be certified as follows:

"I certify under penalty of law that I have personally examined and am familiar with the information submitted in this document and all attachments and that, based on my inquiry of those individuals immediately responsible for obtaining the information, I believe that the information is true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment."

VI. NOTIFICATION REQUIREMENTS

- A. **Twenty Four Hour Non-Compliance Reporting.** The Applicant shall report any noncompliance which may endanger health or the environment. Any such information shall be provided orally to the San Diego Water Board within **24 hours** from the time the Applicant becomes aware of the circumstances. A written submission shall also be provided within five days of the time the Applicant becomes aware of the circumstances. The written submission shall contain a description of the noncompliance and its cause; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected; the anticipated time it is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. The San Diego Water Board, or an authorized representative, may waive the written report on a case-by-case basis if the oral report has been received within 24 hours.
- B. **Anticipated Noncompliance.** The Applicant shall give advance notice to the San Diego Water Board of any planned changes in the Project or the Compensatory Mitigation project which may result in noncompliance with Certification conditions or requirements.
- C. **Transfers.** This Certification is not transferable in its entirety or in part to any person or organization except after notice to the San Diego Water Board in accordance with the following terms:
1. **Transfer of Property Ownership:** The Applicant must notify the San Diego Water Board of any change in ownership of the Project area. Notification of change in ownership must include, but not be limited to, a statement that the Applicant has provided the purchaser with a copy of the Section 401 Water Quality Certification and that the purchaser understands and accepts the certification requirements and the obligation to implement them or be subject to liability for failure to do so; the seller and purchaser must sign and date the notification and provide such notification to the San Diego Water Board **within 10 days of the transfer of ownership.**

2. **Transfer of Mitigation Responsibility:** Any notification of transfer of responsibilities to satisfy the mitigation requirements set forth in this Certification must include a signed statement from an authorized representative of the new party (transferee) demonstrating acceptance and understanding of the responsibility to comply with and fully satisfy the mitigation conditions and agreement that failure to comply with the mitigation conditions and associated requirements may subject the transferee to enforcement by the San Diego Water Board under Water Code section 13385, subdivision (a). Notification of transfer of responsibilities meeting the above conditions must be provided to the San Diego Water Board **within 10 days of the transfer date.**

3. **Transfer of Post-Construction BMP Maintenance Responsibility:** The Applicant assumes responsibility for the inspection and maintenance of all post-construction structural BMPs until such responsibility is legally transferred to another entity. At the time maintenance responsibility for post-construction BMPs is legally transferred the Applicant must submit to the San Diego Water Board a copy of such documentation and must provide the transferee with a copy of a long-term BMP maintenance plan that complies with manufacturer specifications. The Applicant must provide such notification to the San Diego Water Board within **10 days** of the transfer of BMP maintenance responsibility.

Upon properly noticed transfers of responsibility, the transferee assumes responsibility for compliance with this Certification and references in this Certification to the Applicant will be interpreted to refer to the transferee as appropriate. Transfer of responsibility does not necessarily relieve the Applicant of this Certification in the event that a transferee fails to comply.

- D. **Discharge Commencement.** The Applicant must notify the San Diego Water Board in writing **at least 5 days prior to** the start of Project construction.

VII. CALIFORNIA ENVIRONMENTAL QUALITY ACT COMPLIANCE

- A. The City of Vista is the Lead Agency under the California Environmental Quality Act (CEQA) (Public Resources Code section 21000, et seq.) section 21067, and CEQA Guidelines (California Code of Regulations, title 14, section 15000 et seq.) section 15367, and has filed a Notice of Determination dated August 31, 2018 for the Final Mitigated Negative Declaration (FMND) titled Vista Sprouts Market (State Clearing House Number 2018061070). The Lead Agency has determined the Project will have a significant effect on the environment and mitigation measures were made a condition of the Project.

- B. The San Diego Water Board is a Responsible Agency under CEQA (Public Resources Code section 21069; CEQA Guidelines section 15381). The San Diego Water Board has considered the Lead Agency's FMND and finds that the Project as proposed will have a significant effect on resources within the San Diego Water Board's purview.

- C. The San Diego Water Board has required mitigation measures as a condition of this Certification to avoid or reduce the environmental effects of the Project to resources within the Board's purview to a less than significant level.

- D. The Lead Agency has adopted a mitigation monitoring and reporting program pursuant to Public Resources Code section 21081.6 and CEQA Guidelines section 15097 to ensure that mitigation measures and revisions to the Project identified in the FMND are implemented. The Mitigation Monitoring and Reporting Program (MMRP) is included and incorporated by reference in Attachment 4 to this Certification. The Applicant shall implement the Lead Agency's MMRP described in the FMND, as it pertains to resources within the San Diego Water Board's purview. The San Diego Water Board has imposed additional MMRP requirements as specified in sections IV and V of this Certification.
- E. As a Responsible Agency under CEQA, the San Diego Water Board will file a Notice of Determination in accordance with CEQA Guidelines section 15096 subdivision (i).

VIII. SAN DIEGO WATER BOARD CONTACT PERSON

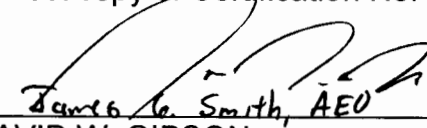
Alan Monji, Environmental Scientist
Telephone: 619-521-3968
Email: Alan.Monji@waterboards.ca.gov

IX. WATER QUALITY CERTIFICATION

I hereby certify that the proposed discharge from the Vista Terrace Marketplace Project (Certification No. R9-2018-0082) will comply with the applicable provisions of sections 301 ("Effluent Limitations"), 302 ("Water Quality Related Effluent Limitations"), 303 ("Water Quality Standards and Implementation Plans"), 306 ("National Standards of Performance"), and 307 ("Toxic and Pretreatment Effluent Standards") of the Clean Water Act. This discharge is also regulated under State Water Board Order No. 2003-0017-DWQ, "*Statewide General Waste Discharge Requirements for Dredged or Fill Discharges that have Received State Water Quality Certification (General WDRs)*," which requires compliance with all conditions of this Water Quality Certification. Please note that enrollment under Order No. 2003-017-DWQ is conditional and, should new information come to our attention that indicates a water quality problem, the San Diego Water Board may issue individual waste discharge requirements at that time.

Except insofar as may be modified by any preceding conditions, all Certification actions are contingent on (a) the discharge being limited to, and all proposed mitigation being completed in strict compliance with, the applicants' Project description and/or the description in this Certification, and (b) compliance with all applicable requirements of the Basin Plan.

I, David W. Gibson, Executive Officer, do hereby certify the forgoing is a full, true, and correct copy of Certification No. R9-2018-0082 issued on November 19, 2018.



For DAVID W. GIBSON
Executive Officer
San Diego Water Board

19 Nov 2018
Date

ATTACHMENT 1

DEFINITIONS

Activity - when used in reference to a permit means any action, undertaking, or project including, but not limited to, construction, operation, maintenance, repair, modification, and restoration which may result in any discharge to waters of the state.

Buffer - means an upland, wetland, and/or riparian area that protects and/or enhances aquatic resource functions associated with wetlands, rivers, streams, lakes, marine, and estuarine systems from disturbances associated with adjacent land uses.

California Rapid Assessment Method (CRAM) - is a wetland assessment method intended to provide a rapid, scientifically-defensible and repeatable assessment methodology to monitor status and trends in the conditions of wetlands for applications throughout the state. It can also be used to assess the performance of compensatory mitigation projects and restoration projects. CRAM provides an assessment of overall ecological condition in terms of four attributes: landscape context and buffer, hydrology, physical structure and biotic structure. CRAM also includes an assessment of key stressors that may be affecting wetland condition and a "field to PC" data management tool (eCRAM) to ensure consistency and quality of data produced with the method.

Compensatory Mitigation Project - means compensatory mitigation implemented by the Applicant as a requirement of this Certification (i.e., applicant -responsible mitigation), or by a mitigation bank or an in-lieu fee program.

Discharge of dredged material – means any addition of dredged material into, including redeposit of dredged material other than incidental fallback within, the waters of the United States and/or State.

Discharge of fill material – means the addition of fill material into waters of the United States and/or State.

Dredged material – means material that is excavated or dredged from waters of the United States and/or State.

Ecological Success Performance Standards – means observable or measurable physical (including hydrological), chemical, and/or biological attributes that are used to determine if a compensatory mitigation project meets its objectives.

Enhancement – means the manipulation of the physical, chemical, or biological characteristics of an aquatic resource to improve a specific aquatic resource function(s). Enhancement results in the gain of selected aquatic resource function(s), but may also lead to a decline in other aquatic resource function(s). Enhancement does not result in a gain in aquatic resource area.

Establishment – means the manipulation of the physical, chemical, or biological characteristics present to develop an aquatic resource that did not previously exist. Creation results in a gain in aquatic resource area.

Fill material – means any material used for the primary purpose of replacing an aquatic area with dry land or of changing the bottom elevation of a water body.

Isolated wetland – means a wetland with no surface water connection to other aquatic resources.

Mitigation Bank – means a site, or suite of sites, where resources (e.g., wetlands, streams, riparian areas) are restored, established, enhanced, and/or preserved for the purpose of providing mitigation for impacts authorized by this Certification.

Preservation - means the removal of a threat to, or preventing the decline of, aquatic resources by an action in or near those aquatic resources. This term includes activities commonly associated with the protection and maintenance of aquatic resources through the implementation of appropriate legal and physical mechanisms. Preservation does not result in a gain of aquatic resource area or functions.

Re-establishment - means the manipulation of the physical, chemical, or biological characteristics of a site with the goal of returning natural/ historic functions to a former aquatic resource. Re-establishment results in rebuilding a former aquatic resource and results in a gain in aquatic resource area and functions.

Rehabilitation - means the manipulation of the physical, chemical, or biological characteristics of a site with the goal of repairing natural/ historic functions to a degraded aquatic resource. Rehabilitation results in a gain in aquatic resource function, but does not result in a gain in aquatic resource area.

Restoration - means the manipulation of the physical, chemical, or biological characteristics of a site with the goal of returning natural/historic functions to a former or degraded aquatic resource. For the purpose of tracking net gains in aquatic resource area, restoration is divided into two categories: re-establishment and rehabilitation.

Start of Project Construction - For the purpose of this Certification, "start of Project construction" means to engage in a program of on-site construction, including site clearing, grading, dredging, landfilling, changing equipment, substituting equipment, or even moving the location of equipment specifically designed for a stationary source in preparation for the fabrication, erection or installation of the building components of the stationary source within waters of the United States and/or State.

Uplands - means non-wetland areas that lack any field-based indicators of wetlands or other aquatic conditions. Uplands are generally well-drained and occur above (i.e., up-slope) from nearby aquatic areas. Wetlands can, however, be entirely surrounded by uplands. For example, some natural seeps and constructed stock ponds lack aboveground hydrological connection to other aquatic areas. In the watershed context, uplands comprise the landscape matrix in which aquatic areas form. They are the primary sources of sediment, surface runoff, and associated chemicals that are deposited in aquatic areas or transported through them.

Water quality objectives and other appropriate requirements of state law – means the water quality objectives and beneficial uses as specified in the appropriate water quality control plan(s); the applicable provisions of sections 301, 302, 303, 306, and 307 of the Clean Water Act; and any other appropriate requirement of state law.



RJR Vacaville, LLC
Vista Terrace Marketplace
R9-2018-0082

ATTACHMENT 2

LOCATION MAPS AND FIGURES

1. Vista Terrace Marketplace Project, Proposed Project Location, Figure 1.
2. Vista Terrace Marketplace Project, Proposed Project Site, Figure 2.

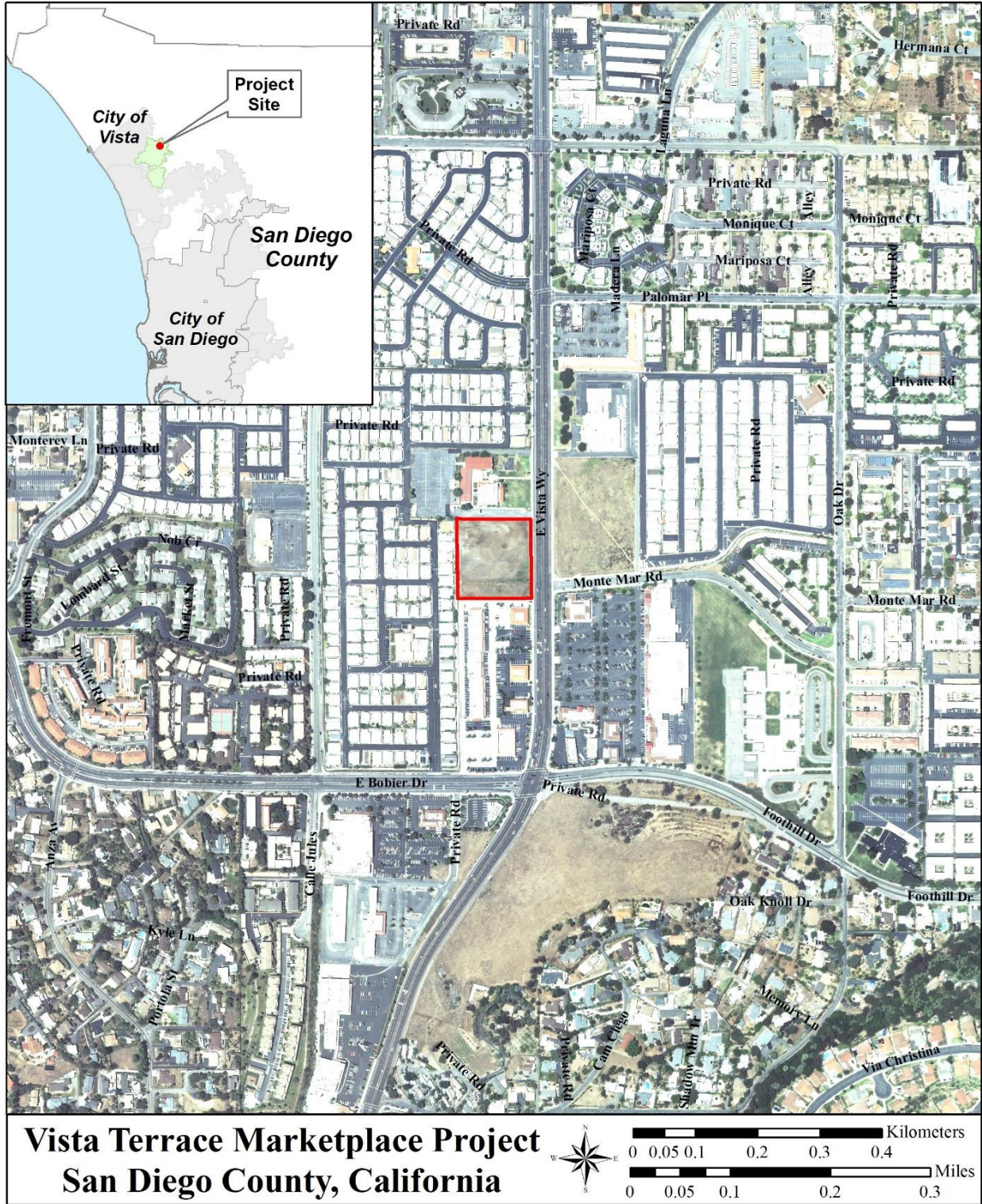


Figure 1. Proposed Project Location.



Figure 2. Proposed Project Site.

RJR Vacaville, LLC
Vista Terrace Marketplace
R9-2018-0082

ATTACHMENT 3

PROJECT FIGURES

1. Vista Terrace Marketplace Project Impacts, Project Features Relative to Existing Biological Resources, Figure 3.
2. Vista Terrace Marketplace Project Wetlands with Project Overlay, Plan View Drawing, Figure 4.
3. City of Vista, Grading Plans for Sprouts Farmers Market. Sheets 1-17.

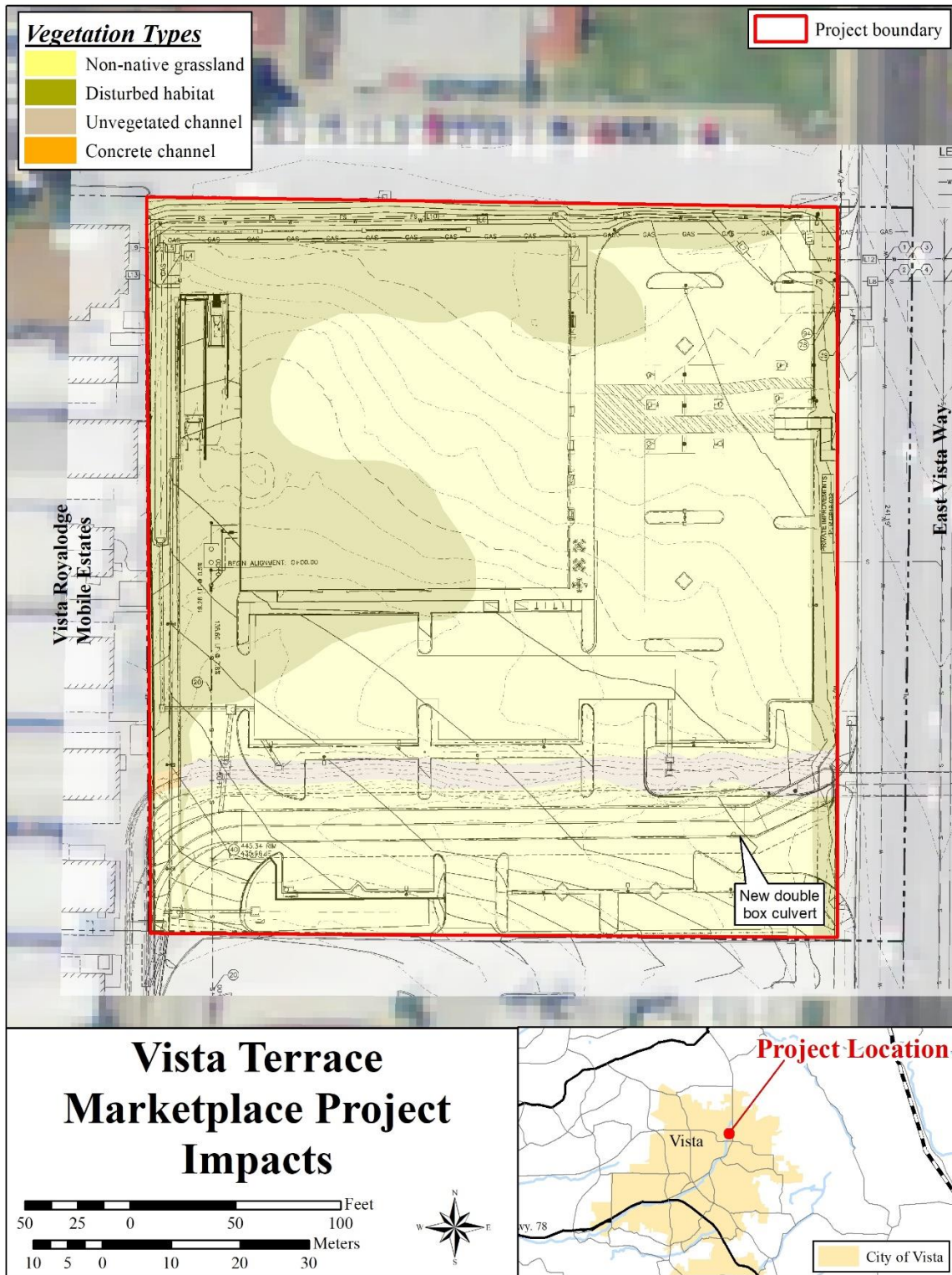


Figure 3. Project Features Relative to Existing Biological Resources.

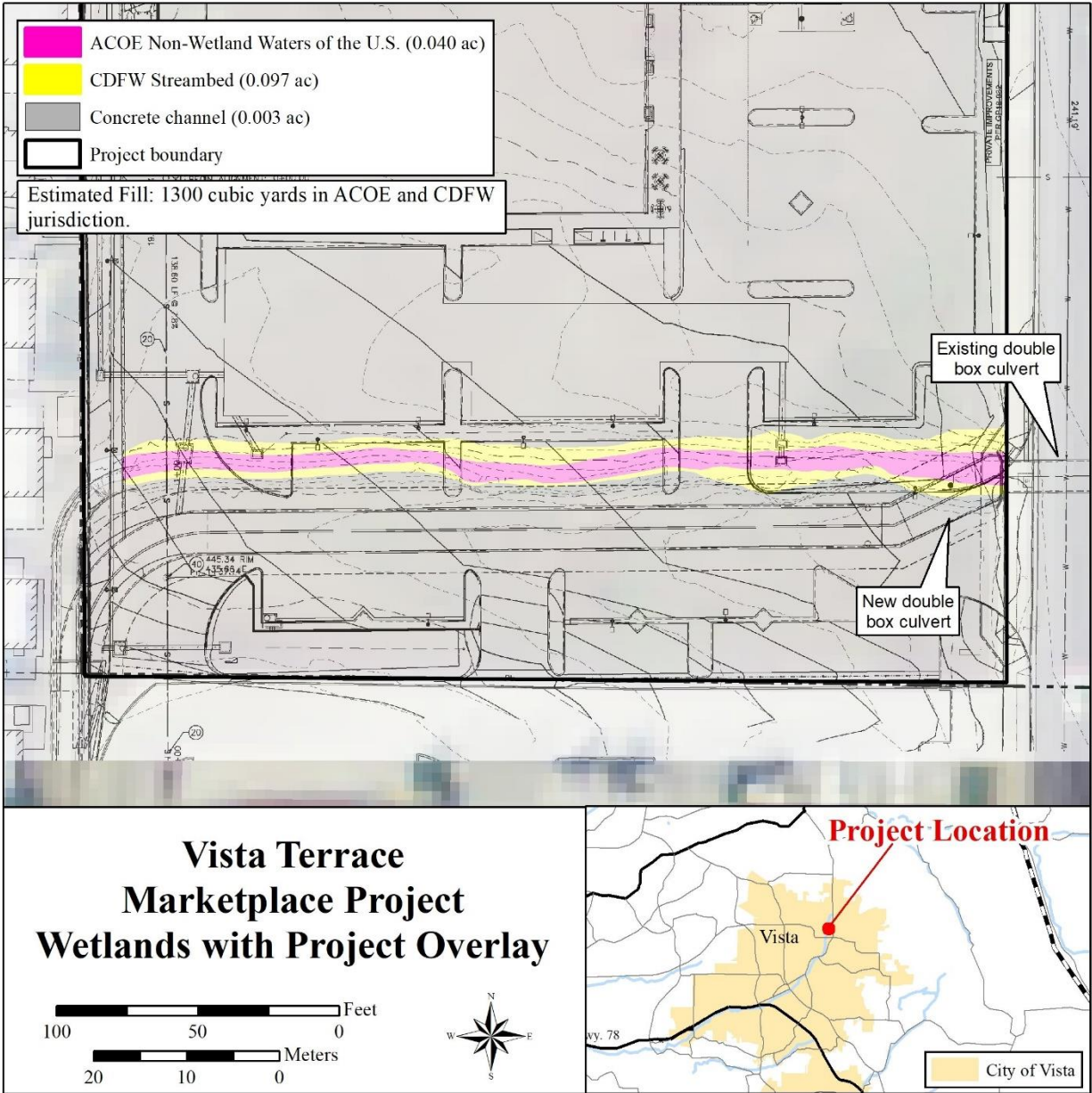


Figure 4: Plan View Drawing

SEWER NOTES

- 1. REFER TO THE UTILITY PLANS (SHEET No. 16) FOR COMPLETE SEWER NOTES.
2. ALL SEWER IMPROVEMENTS SHALL BE DONE IN ACCORDANCE WITH THIS PLAN, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THE SAN DIEGO REGIONAL STANDARD DRAWINGS, AND THE CITY OF VISTA STANDARD DRAWINGS, ALL AS LAST AMENDED. WHERE CONFLICTS ARISE, THE MORE STRINGENT SHALL PREVAIL.
3. THE INTERNAL CONDITION OF ALL SEWER FACILITIES WITHIN THE RIGHT-OF-WAY SHALL BE ASSESSED BY CLOSED-CAPTIONED TELEVISED (CCTV) AS FOLLOWS:

- A. PRE-CONSTRUCTION: NO GRADING OR TRENCHING WILL BE PERMITTED BEFORE CCTV INSPECTION. CCTV INSPECTION PERFORMED ON...
B. POST-TELEVISIONING: CCTV INSPECTION OF ALL NEW AND EXISTING SEWER IMPROVEMENTS IS REQUIRED BEFORE FINAL PAVING OR ACCEPTANCE OF SEWER MAINS, LATERALS, AND APPURTENANCES.
C. CCTV INSPECTION SCHEDULE AND VIDEO TAPE REVIEW FEES: CONTRACTOR IS REQUIRED TO CONTACT THE SANITATION STAFF AT (760) 809-6146, OR 726-1340, EXTENSION 1336 OR 1374 TO SCHEDULE THE TELEVISIONING INSPECTION AND PAY APPLICABLE FEES.
D. SUBMITTAL REQUIREMENTS (MIN.): THE TV INSPECTION SHALL BE PERFORMED ONLY BY THE 'CITY OF VISTA' OR A CITY-APPROVED FIRM. THE CONTRACTOR SHALL SUBMIT TO THE CITY/DISTRICT ENGINEER COLOR CCTV ON CD-ROM WITH VERBAL DESCRIPTION, WRITTEN MANUSCRIPT OF THE PERTINENT DIALOGUE, A DIGITAL FILE OF THE TV INSPECTION DATABASE, AND STILL PICTURES. MINIMAL INFORMATION SHALL INCLUDE; PROJECT NAME, DRAWING NO., DATE & TIME, LINE ID AND LOCATION, PIPE SIZE AND MATERIAL, FOOTAGE, LATERAL LOCATION FROM THE UPSTREAM MANHOLE, AND ANY DEFECTS OR PROBLEM AREAS. FINAL ACCEPTANCE OF THE IMPROVEMENTS IS SUBJECT TO DISTRICT REVIEW AND APPROVAL.

- 4. DETAILED RECORD DRAWINGS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND SUBMITTED TO THE ENGINEER OF WORK. "AS-BUILT" DRAWINGS SHALL BE SUBMITTED BY THE ENGINEER OF WORK TO THE CITY/DISTRICT INSPECTOR PRIOR TO ACCEPTANCE OF THE PUBLIC SEWER SYSTEM. FINAL LOCATION AND ELEVATION OF SEWER MAIN, MANHOLES, LATERALS, AND CLEANOUTS SHALL BE SHOWN ON THE RECORD DRAWING AND THE "AS-BUILT" DRAWINGS.
5. ENTRY TO MANHOLES IS PERMIT-REQUIRED CONFINED SPACE ENTRY (REF. SEC. 5156, 5157, AND 5158 OF CALIFORNIA OSHA TITLE 8 COR GISO). SAID PERMIT AND PLAN MUST BE ISSUED BEFORE EACH ENTRY, MAINTAINED ONSITE AND PRESENTED TO CITY/DISTRICT ENGINEER UPON REQUEST. NON-COMPLIANCE MAY RESULT IN DEATH, FINES, OR IMPRISONMENT.
6. AS EARLY AS POSSIBLE, THE CONTRACTOR SHALL SUBMIT A PLAN FOR SANITARY SEWER OVERFLOW PREVENTION AND RESPONSE (SSOP&R) PLAN. PLAN MUST BE APPROVED BY THE DISTRICT ENGINEER BEFORE ANY WORK THAT MAY AFFECT PRIVATE OR PUBLIC SEWER FLOW SHOULD A SPILL OCCUR. THE CONTRACTOR SHALL CONTAIN THE SEWAGE FROM ENTERING WATER SURFACE AREAS AND IMMEDIATELY CALL THE DISTRICT WASTEWATER DEPARTMENT AND INSPECTOR FOR INSPECTION, RESPONSE, AND REPORTING:

CITY OF VISTA/ BUENA SANITATION DISTRICT
(7:30 AM TO 3:30 PM) (760) 726-1340
RANCHO BUENA VISTA DISPATCH
(AFTER WORKING HOURS) (858) 756-3606

- 7. THE CONTRACTOR IS LIABLE FOR ANY AND ALL COSTS INCURRED BY THE DISTRICT FOR RESPONSE AND REPORTING, IN ADDITION TO ANY FINES AND PENALTIES THAT MAY APPLY (REF. COV/BSO SSOP&R, RWQCB 96-04).

THE DISTRICT RESERVES THE RIGHT TO APPROVE OR REQUIRE ANY NECESSARY CHANGES TO ENSURE THAT ALL ACTIVE MANHOLES ARE ACCESSIBLE THROUGH ALL PHASES OF CONSTRUCTION, AND THAT ALL FINISHED MANHOLES ARE LEGALLY AND PHYSICALLY ACCESSIBLE TO DISTRICT STANDARDS. [MIN. ESM.T. 15' WIDE WITH MIN. 12" WIDE DRIVE LANE MEETING; MIN. 4" CL III A.B. TO 10% GRADE, MIN. 2" A.C. OVER 6" CL II A.B. TO 20% WITH DRIVEWAY APRONS AND GATES PER COVSD 18 AS REQUIRED.]

ENGINEER'S STATEMENT: I HEREBY CERTIFY THAT I HAVE REVIEWED THE ATTACHED PLANS AND THAT THE PLANS PROVIDE FOR MANHOLE ACCESS BY IMPROVED AND RECORDED EASEMENT IN COMPLIANCE WITH SANITATION STANDARDS.

ENGINEER OF WORK RCE DATE

SPECIAL NOTES

- 1. THE FOLLOWING NOTES ARE PROVIDED TO GIVE INSTRUCTIONS TO THE CONTRACTOR BY THE ENGINEER OF WORK. THE CITY ENGINEER'S SIGNATURE ON THESE PLANS DOES NOT CONSTITUTE APPROVAL OF ANY OF THESE NOTES, AND THE CITY WILL NOT BE RESPONSIBLE FOR THEIR ENFORCEMENT.
2. NEITHER THE OWNER NOR THE ENGINEER OF WORK WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
3. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF WORK OF ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS PRIOR TO STARTING CONSTRUCTION.
4. LOCATION AND ELEVATION OF IMPROVEMENTS TO BE JOINED BY PROPOSED WORK SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO STARTING CONSTRUCTION.
5. BEFORE EXCAVATING FOR THIS CONTRACT, VERIFY LOCATION OF UNDERGROUND UTILITIES. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS HAS BEEN OBTAINED FROM AVAILABLE RECORDS ONLY AND MAY NOT REFLECT ALL EXISTING UTILITIES. LOCATIONS OF ALL EXISTING UTILITIES SHALL BE CONFIRMED BY FIELD MEASUREMENTS BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.
6. CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHER EXISTING LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
7. WHERE TRENCHES ARE ADJACENT TO FUTURE BUILDING SITES, SOILS REPORTS SHALL BE SUBMITTED TO THE ENGINEER OF WORK BY A QUALIFIED SOILS ENGINEER WHICH CERTIFY THAT TRENCH BACKFILL WAS COMPACTED AS DIRECTED BY THE SOILS ENGINEER IN ACCORDANCE WITH THE ON-SITE EARTHWORK SPECIFICATIONS.
8. SAFETY FENCES SHALL BE PROVIDED BY THE CONTRACTOR WHERE REQUIRED BY THE CITY ENGINEER.
9. DURING ACTIVE CONSTRUCTION, AREAS SHALL BE WATERED TO REDUCE FUGITIVE DUST.
10. CONTRACTOR SHALL ADJUST ALL PROPOSED AND EXISTING FACILITIES TO GRADE.
11. CONTRACTOR SHALL REMOVE/REPLACE/RELOCATE ALL EXISTING FACILITIES AS REQUIRED TO INSTALL PROPOSED IMPROVEMENTS.

SPECIAL NOTES (cont'd.)

- 12. CONTRACTOR SHALL REMOVE/REPLACE/RELOCATE ANY LANDSCAPING/HARDSCAPING WHICH CONFLICTS IN ANY WAY WITH THE INSTALLATION OR PROPER FUNCTIONING OF THE PROPOSED IMPROVEMENTS.
13. CURB HEIGHT SHALL BE 6" FACE UNLESS OTHERWISE NOTED ON THE PLANS.
14. DIRT, DEBRIS AND OTHER CONSTRUCTION MATERIAL SHALL NOT BE DEPOSITED ON ANY PUBLIC STREET OR WITHIN THE CITY'S STORM WATER CONVEYANCE SYSTEM.
15. ALL GRADING AND RELATED SITE PREPARATION AND CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE HOURS OF 7 AM TO 5 PM, MONDAY THROUGH FRIDAY, AND FROM 8 AM TO 4 PM ON SATURDAYS. NO ENGINEERING RELATED CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED ON SUNDAYS OR LEGAL HOLIDAYS UNLESS WRITTEN PERMISSION IS GRANTED BY THE LAND DEVELOPMENT ENGINEER WITH SPECIFIC LIMITATIONS TO THE WORKING HOURS AND TYPES OF PERMITTED OPERATIONS. ALL ON-SITE CONSTRUCTION STAGING AREAS SHALL BE AS FAR AS POSSIBLE (MINIMUM 100 FEET) FROM ANY EXISTING RESIDENTIAL DEVELOPMENT. BECAUSE CONSTRUCTION NOISE MAY STILL BE INTRUSIVE IN THE EVENING OR ON HOLIDAYS, THE CITY'S NOISE ORDINANCE ALSO PROHIBITS ANY DISTURBING, EXCESSIVE, OR OFFENSIVE NOISE WHICH CAUSES DISCOMFORT OR ANNOYANCE TO REASONABLE PERSONS OF NORMAL SENSITIVITY.
16. THE CONSTRUCTION SITE SHALL ACCOMMODATE THE ON-SITE PARKING OF ALL MOTOR VEHICLES USED BY PERSONS WORKING AT OR PROVIDING DELIVERIES TO THE SITE.

VID NOTES

- 1. THE DISTRICT'S APPROVAL GIVEN HERE IS NOT AN APPROVAL TO BEGIN THE INSTALLATION OR CONSTRUCTION OF WATER FACILITIES. APPROVAL FOR THE INSTALLATION OR CONSTRUCTION OF THE WATER FACILITIES IS ONLY GIVEN AFTER PROPER APPLICATION AND/OR EXECUTION OF A CONSTRUCTION CONTRACT AND PAYMENT OF ALL APPLICABLE FEES TO THE DISTRICT. IT BE ACCEPTED THE APPLICATIONS AND/OR THE CONSTRUCTION CONTRACT MUST BE SIGNED BY THE GENERAL MANAGER.
2. ANY WATER FACILITIES THAT WILL BE UNDER THE JURISDICTION OF THE DISTRICT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS SIGNED BY THE DISTRICT AND WITH THE DISTRICT'S CURRENT "STANDARD SPECIFICATIONS" APPROVED BY THE BOARD OF DIRECTORS AND POSTED ON OUR WEBSITE AT WWW.VIDWATER.ORG. THE SIGNED "ORIGINAL" PLANS ON FILE AT THE DISTRICT OFFICE ARE THE ONLY PLANS RECOGNIZED BY THE DISTRICT AS "APPROVED." A SIGNED SET OF PLANS AND A COPY OF THE "STANDARD SPECIFICATIONS" MUST BE ON THE JOB SITE DURING CONSTRUCTION OR INSPECTION OR WATER FACILITIES MAY NOT BE RENDERED.
3. THE CONTRACTOR SHALL NOTIFY THE DISTRICT'S ENGINEERING DEPARTMENT OF ANY DISCREPANCIES BETWEEN THE APPROVED PLANS AND ACTUAL FIELD CONDITIONS. THIS INCLUDES THE CONTRACTOR'S RESPONSIBILITY FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES AND SUBSTRUCTURES DURING CONSTRUCTION, WHETHER SHOWN ON THE PLANS OR NOT. THE ACTUAL LOCATION AND DEPTH OF ALL UTILITIES, SUBSTRUCTURES, AND CONNECTION POINTS ARE TO BE VERIFIED (EXCAVATED OR POTHOLED) BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK, AND ANY DISCREPANCY IS TO BE BROUGHT TO THE ATTENTION OF THE DEVELOPER'S ENGINEER FOR CORRECTION AND THEN SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL. ALL PROPOSED CHANGES TO THE "APPROVED" PLANS MUST BE REVIEWED AND SIGNED BY THE DISTRICT PRIOR TO THE INSTALLATION OF SUCH CHANGES AND SHALL BE INCORPORATED INTO THE "ORIGINAL" PLANS.
4. THE CONTRACTOR SHALL OBTAIN THE DISTRICT'S APPROVAL FOR THE INSTALLATION OF ANY OTHER UTILITY TO BE INSTALLED WITHIN ANY DISTRICT EASEMENT. THE APPROVAL MUST BE OBTAINED PRIOR TO INSTALLATION AND MUST BE INSPECTED BY THE DISTRICT'S INSPECTOR.
5. BEFORE THE WORK IS ALLOWED TO BEGIN, THE CONTRACTOR IS TO CONTACT THE DISTRICT'S ENGINEERING DEPARTMENT AT (760) 597-3116 TO DETERMINE WHEN OR IF WORK CAN BEGIN AND TO ARRANGE A PRE-CONSTRUCTION MEETING WITH THE DISTRICT'S ENGINEERING INSPECTOR AT (760) 597-3126. INSPECTION REQUESTS SHALL BE MADE AT LEAST 24 HOURS IN ADVANCE.
6. THE DISTRICT REQUIRES ALL NEW AND EXISTING WATER LINES TO HAVE 36 TO 42 INCHES OF FINAL COVER OR A MINIMUM OF 24 INCHES OF COVER FROM THE BOTTOM OF THE SUB-GRADE, WHICHEVER IS GREATER. THE 24-INCH COVER DOES NOT RELIEVE THE CONTRACTOR FROM LOCATING AND PROTECTING EXISTING UTILITIES DURING CONSTRUCTION. THE DISTRICT SHALL BE NOTIFIED WHEN STREET STRUCTURAL SECTIONS ARE DETERMINED BY THE APPROPRIATE ROAD AGENCY HAVING JURISDICTION OVER THE STREET. THE CONTRACTOR SHALL, AT HIS SOLE EXPENSE, COMPLY WITH THAT AGENCY'S REQUIREMENTS AND OBTAIN THE DISTRICT'S WRITTEN APPROVAL ON THE PLANS OF ANY COVER CHANGES BEFORE THE INSTALLATION OF THE WATER LINE OR BEFORE REMOVING EXISTING COVER.
7. UNAUTHORIZED CONNECTIONS TO THE DISTRICT'S WATER SYSTEM FOR CONSTRUCTION WATER OR ANY OTHER PURPOSE IS STRICTLY FORBIDDEN AND ARE SUBJECT TO ENFORCEMENT UNDER THE DISTRICT'S RULES AND REGULATIONS. THE CONTRACTOR WILL BE CHARGED A MINIMUM FEE (REFER TO CURRENT FEE SCHEDULE) FOR EACH UNAUTHORIZED CONNECTION AS THE ESTIMATED AMOUNT OF WATER USED THROUGH ANY UNAUTHORIZED CONNECTION AND THE DISTRICT MAY CONFISCATE ANY HOSES, VALVES OR OTHER APPURTENANCES USED TO MAKE ANY UNAUTHORIZED CONNECTION.
8. ANY PROPOSED FENCING OR GATES WITHIN DISTRICT RIGHT-OF-WAY MUST BE IDENTIFIED ON THE IMPROVEMENT/GRADING PLAN AND DISTRICT ACCESS COORDINATED PER THE DISTRICT'S REQUIREMENTS. FENCES WILL NOT BE PERMITTED ACROSS THE EASEMENT UNLESS GATES SATISFACTORY TO DISTRICT ARE PROVIDED AND MAINTAINED BY OWNER FOR DISTRICT USE.
9. THESE PLANS ARE SUBJECT TO ADDITIONAL WATER NOTES CONTAINED IN THE "STANDARD SPECIFICATIONS." THOSE NOTES WILL ALSO BE DISPENSED TO THE CONTRACTOR AT THE REQUIRED PRECONSTRUCTION MEETING.

STATE WATER RESOURCES CONTROL BOARD

- 1. DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF STATE WATER RESOURCES CONTROL BOARD (SWRCB) ORDER NO. 99-08-DWQ (N.P.D.E.S. GENERAL PERMIT NO. CAS000002), WASTE DISCHARGE REQUIREMENTS FOR DISCHARGES OF STORM WATER RUNOFF ASSOCIATED WITH CONSTRUCTION ACTIVITY.
2. IN ACCORDANCE WITH SAID PERMIT, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND A MONITORING PROGRAM PLAN SHALL BE DEVELOPED AND IMPLEMENTED CONCURRENT WITH THE COMMENCEMENT OF GRADING ACTIVITIES AND A COMPLETE AND ACCURATE NOTICE-OF-INTENT (NOI) WILL BE FILED WITH THE SWRCB. A COPY OF THE ACKNOWLEDGMENT FROM THE SWRCB THAT A NOI HAS BEEN RECEIVED FOR THIS PROJECT SHALL BE FILED WITH THE CITY OF VISTA WHEN RECEIVED; FURTHER, A COPY OF THE COMPLETED NOI FROM THE SWRCB SHOWING THE PERMIT NUMBER FOR THIS PROJECT SHALL BE FILED WITH THE CITY OF VISTA WHEN RECEIVED; (WQID No. _____).
3. IN ADDITION, THE UNDERSIGNED AND SUBSEQUENT OWNER(S) OF ANY PORTION OF THE PROPERTY COVERED BY THIS GRADING PERMIT NO. 99-08-DWQ AND BY SWRCB ORDER NO. 99-08-DWQ, AND ANY SUBSEQUENT AMENDMENTS THERETO, SHALL COMPLY WITH SPECIAL PROVISIONS AS SET FORTH IN SECTION C.7 OF SWRCB ORDER NO. 99-08-DWQ.
BLACK LION INVESTMENT GROUP
OWNER OF LAND

SIGNATURE OF LAND OWNER, CORPORATE OFFICER, GENERAL PARTNER, OR PROPRIETOR DATE
PRINTED NAME OF ABOVE PERSON
TITLE

MITIGATION MEASURES

- BIO-1 THE PROJECT SHALL MITIGATE THE PROPOSED IMPACT TO NNG AT A 0.5:1 RATIO WITH THE REQUIRED MINIMUM 0.83 ACRE OF NNG OR OTHER GROUP B, C OR D HABITAT IN A CONSERVATION OR MITIGATION BANK TO THE SATISFACTION OF THE CITY. SATISFACTION OF THIS MEASURE WOULD FULLY MITIGATE THE LOSS OF NNG HABITAT AT THE SITE.
BIO-2 THE PROJECT SHALL SATISFY THE FEDERAL AND STATE NO-NET-LOSS STANDARD AND SHALL MITIGATE THE PROPOSED IMPACT TO WETLANDS AT WITH A MINIMUM 1:1 RATIO OF ACQUISITION OF WETLAND CREATION CREDITS FROM THE BROOK FOREST CONSERVATION/MITIGATION BANK OR OTHER MITIGATION BANK, SUBJECT TO APPROVAL BY CDFW, RWQCB, AND THE CORPS. SATISFACTION OF THIS MEASURE WOULD FULLY MITIGATE THE LOSS OF WETLAND HABITAT AT THE SITE.
BIO-3 ALL VEGETATION REMOVAL WILL BE PERFORMED PRIOR TO OR AFTER THE BIRDBREEDING SEASON, JANUARY 1 THROUGH SEPTEMBER 15 (I.E., ONLY BETWEEN SEPTEMBER 16 AND DECEMBER 31). IF CLEARING IS PLANNED TO OCCUR DURING THE BREEDING SEASON, PRE-CONSTRUCTION NEST SURVEYS SHALL BE CONDUCTED PRIOR TO ANY CLEARING. WORK MAY PROCEED IF NO ACTIVE BIRD NESTS ARE DETECTED. BY AVOIDING CLEARING DURING THE BIRDBREEDING SEASON, OR PERFORMING SURVEYS TO ENSURE NO ACTIVE NESTS ARE PRESENT PRIOR TO CLEARING, THE PROPOSED PROJECT WILL ENSURE COMPLIANCE WITH THE MBTA AND PERTINENT SECTIONS OF THE CFG CODE. CR-1
CULTURAL RESOURCE MITIGATION MONITORING SHALL BE CONDUCTED ON THE SITE TO PROVIDE FOR THE IDENTIFICATION, EVALUATION, TREATMENT, AND PROTECTION OF ANY CULTURAL RESOURCES THAT ARE AFFECTED BY OR MAY BE DISCOVERED DURING THE CONSTRUCTION OF THE PROPOSED PROJECT. THE MONITORING SHALL CONSIST OF THE FULL-TIME PRESENCE OF A QUALIFIED ARCHAEOLOGIST AND A TCA (TRADITIONALLY AND CULTURALLY AFFILIATED) NATIVE AMERICAN MONITOR FOR, BUT NOT LIMITED TO, ANY CLEARING OR GRUBBING OF VEGETATION, TREE REMOVAL, DEMOLITION AND/OR REMOVAL OF REMNANT FOUNDATIONS, PAVEMENTS, ABANDONMENT AND/OR INSTALLATION OF INFRASTRUCTURE; GRADING OR ANY OTHER GROUND DISTURBING OR ALTERING ACTIVITIES, INCLUDING THE PLACEMENT OF ANY IMPORTED FILL MATERIALS (NOTE: ALL FILL MATERIALS SHALL BE ABSENT OF ANY AND ALL CULTURAL RESOURCES); AND RELATED ROAD IMPROVEMENTS, INCLUDING, BUT NOT LIMITED TO, THE INSTALLATION OF INFRASTRUCTURE, AND THE REALIGNMENTS AND/OR EXPANSIONS TO E. VISTA WAY OR ADJACENT PARKING LOTS USED FOR RECIPROCAL PARKING AGREEMENTS. OTHER TASKS OF THE MONITORING PROGRAM SHALL INCLUDE THE FOLLOWING:
- THE REQUIREMENT FOR CULTURAL RESOURCE MITIGATION MONITORING SHALL BE NOTED ON ALL APPLICABLE CONSTRUCTION DOCUMENTS, INCLUDING DEMOLITION PLANS, GRADING PLANS, ETC.
- THE QUALIFIED ARCHAEOLOGIST AND TCA NATIVE AMERICAN MONITOR SHALL ATTEND ALL APPLICABLE PRE-CONSTRUCTION MEETINGS WITH THE CONTRACTOR AND/OR ASSOCIATED SUBCONTRACTORS TO PRESENT THE ARCHAEOLOGICAL MONITORING PROGRAM.
- THE QUALIFIED ARCHAEOLOGIST SHALL MAINTAIN ONGOING COLLABORATIVE CONSULTATION WITH THE TCA NATIVE AMERICAN MONITOR DURING ALL GROUND DISTURBING OR ALTERING ACTIVITIES, AS IDENTIFIED ABOVE. THE APPLICANT, OR OWNER, AND/OR GRADING CONTRACTOR SHALL NOTIFY THE DIRECTOR OF COMMUNITY DEVELOPMENT, PREFERABLY THROUGH E-MAIL, OF THE START AND END OF ALL GROUND-DISTURBING ACTIVITIES.
- THE QUALIFIED ARCHAEOLOGIST AND/OR TCA NATIVE AMERICAN MONITOR MAY HALT GROUND-DISTURBING ACTIVITIES IF ARCHAEOLOGICAL ARTIFACT DEPOSITS OR CULTURAL FEATURES ARE DISCOVERED. IN GENERAL, GROUND-DISTURBING ACTIVITIES SHALL BE DIRECTED AWAY FROM THESE DEPOSITS FOR A SHORT TIME TO ALLOW A DETERMINATION OF POTENTIAL SIGNIFICANCE. THE SUBJECT OF WHICH SHALL BE DETERMINED BY THE QUALIFIED ARCHAEOLOGIST AND THE TCA NATIVE AMERICAN MONITOR. IN CONSULTATION WITH THE SAN LUIS REY BAND, GROUND DISTURBING ACTIVITIES SHALL NOT RESUME UNTIL THE QUALIFIED ARCHAEOLOGIST, IN CONSULTATION WITH THE TCA NATIVE AMERICAN MONITOR, DEEMS THE CULTURAL RESOURCE OR FEATURE HAS BEEN APPROPRIATELY DOCUMENTED AND/OR PROTECTED. AT THE QUALIFIED ARCHAEOLOGIST'S DISCRETION, THE LOCATION OF GROUND DISTURBING ACTIVITIES MAY BE RELOCATED ELSEWHERE ON THE PROJECT SITE TO AVOID FURTHER DISTURBANCE OF CULTURAL RESOURCES.
- THE AVOIDANCE AND PROTECTION OF DISCOVERED UNKNOWN AND SIGNIFICANT CULTURAL RESOURCES AND/OR UNIQUE ARCHAEOLOGICAL RESOURCES IS THE PREFERABLE MITIGATION FOR THE PROPOSED PROJECT. IF AVOIDANCE IS NOT FEASIBLE, A DATA RECOVERY PLAN MAY BE AUTHORIZED BY THE CITY AS THE LEAD AGENCY UNDER CEQA. IF DATA RECOVERY IS REQUIRED, THEN THE SAN LUIS REY BAND SHALL BE NOTIFIED AND CONSULTED IN DRAFTING AND FINALIZING ANY SUCH RECOVERY PLAN

- CR-2 PRIOR TO THE ISSUANCE OF A GRADING PERMIT, AND SUBJECT TO APPROVAL OF TERMS BY THE CITY, THE APPLICANT OR OWNER, AND/OR CONTRACTOR SHALL ENTER INTO A PRE-EXCAVATION AGREEMENT WITH THE SAN LUIS REY BAND, A TCA TRIBE. A COPY OF THE AGREEMENT SHALL BE INCLUDED IN THE GRADING PLAN SUBMITTALS FOR THE GRADING PERMIT. THE PURPOSE OF THIS AGREEMENT SHALL BE TO FORMALIZE PROTOCOLS AND PROCEDURES BETWEEN THE APPLICANT OR OWNER, AND/OR CONTRACTOR, AND THE SAN LUIS REY BAND FOR THE PROTECTION AND TREATMENT OF, INCLUDING BUT NOT LIMITED TO, NATIVE AMERICAN HUMAN REMAINS, FUNERARY OBJECTS, CULTURAL AND RELIGIOUS LANDSCAPES, CEREMONIAL ITEMS, TRADITIONAL GATHERING AREAS AND CULTURAL ITEMS, LOCATED AND/OR DISCOVERED THROUGH A MONITORING PROGRAM IN CONJUNCTION WITH THE CONSTRUCTION OF THE PROPOSED PROJECT, INCLUDING ADDITIONAL ARCHAEOLOGICAL SURVEYS AND/OR STUDIES, EXCAVATIONS, GEOTECHNICAL INVESTIGATIONS, OFF-SITE INFRASTRUCTURE INSTALLATION, GRADING, AND ALL OTHER GROUND DISTURBING ACTIVITIES.

Kimley Horn logo and contact information: 67652 06/30/2019, ENGINEER OF WORK RCE EXP.LIC.DATE DATE

MITIGATION MEASURES

- CR-3 PRIOR TO THE RELEASE OF THE GRADING BOND, A MONITORING REPORT AND/OR EVALUATION REPORT, WHICH DESCRIBES THE RESULTS, ANALYSIS AND CONCLUSIONS OF THE CULTURAL RESOURCE MITIGATION MONITORING EFFORTS (SUCH AS, BUT NOT LIMITED TO, A RESEARCH DESIGN AND DATA RECOVERY PROGRAM) SHALL BE SUBMITTED BY THE QUALIFIED ARCHAEOLOGIST, ALONG WITH THE TCA NATIVE AMERICAN MONITOR'S NOTES AND COMMENTS, TO THE CITY'S DIRECTOR OF COMMUNITY DEVELOPMENT FOR REVIEW AND APPROVAL.
CR-4 ALL CULTURAL MATERIALS THAT ARE ASSOCIATED WITH BURIAL AND/OR FUNERARY GOODS SHALL BE REPATRIATED TO THE MOST LIKELY DESCENDANT AS DETERMINED BY THE NATIVE AMERICAN HERITAGE COMMISSION PER CALIFORNIA PUBLIC RESOURCES CODE SECTION 5097.98.
CR-5 RECOVERED CULTURAL MATERIAL OF HISTORIC SIGNIFICANCE SHALL BE CURATED WITH ACCOMPANYING CATALOG, PHOTOGRAPHS, AND REPORTS TO A SAN DIEGO CURATION FACILITY THAT MEETS FEDERAL STANDARDS PER 36 CFR PART 79. RECOVERED CULTURAL MATERIAL OF TRIBAL CULTURAL SIGNIFICANCE SHALL BE REPATRIATED AS STIPULATED IN THE PRE-EXCAVATION AGREEMENT AS DESCRIBED IN CR-2.
CR-6 AS SPECIFIED BY CALIFORNIA HEALTH AND SAFETY CODE SECTION 7050.5, IF HUMAN REMAINS ARE FOUND ON THE PROJECT SITE DURING CONSTRUCTION OR DURING ARCHAEOLOGICAL WORK, THE PERSON RESPONSIBLE FOR THE EXCAVATION, OR HIS OR HER AUTHORIZED REPRESENTATIVE, SHALL IMMEDIATELY NOTIFY THE SAN DIEGO COUNTY CORONER'S OFFICE BY TELEPHONE. NO FURTHER EXCAVATION OR DISTURBANCE OF THE DISCOVERY OR ANY NEARBY AREA REASONABLY SUSPECTED TO OVERLIE ADJACENT REMAINS (AS DETERMINED BY THE QUALIFIED ARCHAEOLOGIST AND/OR THE TCA NATIVE AMERICAN MONITOR) SHALL OCCUR UNTIL THE CORONER HAS MADE THE NECESSARY FINDINGS AS TO ORIGIN AND DISPOSITION PURSUANT TO PUBLIC RESOURCES CODE 5097.98. IF SUCH A DISCOVERY OCCURS, A TEMPORARY CONSTRUCTION EXCLUSION ZONE SHALL BE ESTABLISHED SURROUNDING THE AREA OF THE DISCOVERY SO THAT THE AREA WOULD BE PROTECTED (AS DETERMINED BY THE QUALIFIED ARCHAEOLOGIST AND/OR THE TCA NATIVE AMERICAN MONITOR), AND CONSULTATION AND TREATMENT COULD OCCUR AS PRESCRIBED BY LAW. AS FURTHER DEFINED BY STATE LAW, THE CORONER WOULD DETERMINE WITHIN TWO WORKING DAYS OF BEING NOTIFIED IF THE REMAINS ARE SUBJECT TO HIS OR HER AUTHORITY. IF THE CORONER RECOGNIZES THE REMAINS TO BE NATIVE AMERICAN, HE OR SHE SHALL CONTACT THE NATIVE AMERICAN HERITAGE COMMISSION WITHIN 24 HOURS. THE NATIVE AMERICAN HERITAGE COMMISSION WOULD MAKE A DETERMINATION AS TO THE MOST LIKELY DESCENDANT. IF NATIVE AMERICAN REMAINS ARE DISCOVERED, THE REMAINS SHALL BE KEPT IN SITU (IN PLACE), OR IN A SECURE LOCATION IN CLOSE PROXIMITY TO WHERE THEY WERE FOUND, AND THE ANALYSIS OF THE REMAINS SHALL ONLY OCCUR ON-SITE IN THE PRESENCE OF A TCA NATIVE AMERICAN MONITOR.
NOI-1 NOISE LEVELS FROM OPERATIONAL NOISE GENERATED BY THE PROJECT SHALL MEET THE ARITHMETIC MEAN OF THE NOISE ORDINANCE STANDARDS BETWEEN A COMMERCIAL AND RESIDENTIAL USE. THIS STANDARD IS 55 DBA LEQ DURING THE HOURS BETWEEN 7:00 A.M. AND 10:00 P.M. AND 50 DBA LEQ DURING THE HOURS BETWEEN 10:00 P.M. AND 7:00 A.M. NOISE REDUCTION MAY BE ACCOMPLISHED THROUGH AN ENCLOSED LOADING DOCK. THE LOADING DOCK SHALL BE FULLY ENCLOSED BY AN ARCHITECTURAL EXTENSION OF THE PROPOSED GROCERY STORE STRUCTURE TO THE EAST. THE STRUCTURE SHALL ENCOMPASS THE LOADING DOCK ON ALL SIDES, WITH AN OPENING TO THE SOUTH TO ALLOW FOR VENDOR TRUCK ACCESS. THE ENCLOSURE MUST BE SOLID. IT CAN BE CONSTRUCTED OF MASONRY OR WOOD, PROVIDED THERE ARE NO CRACKS OR GAPS THROUGH, ABOVE, OR BELOW THE STRUCTURAL WALLS.
NOI-2 NOISE LEVELS FROM OPERATIONAL NOISE GENERATED BY THE PROJECT SHALL MEET THE ARITHMETIC MEAN OF THE NOISE ORDINANCE STANDARDS BETWEEN A COMMERCIAL AND RESIDENTIAL USE. THIS STANDARD IS 55 DBA LEQ DURING THE HOURS BETWEEN 7:00 A.M. AND 10:00 P.M. AND 50 DBA LEQ DURING THE HOURS BETWEEN 10:00 P.M. AND 7:00 A.M. NOISE REDUCTION MAY BE ACCOMPLISHED THROUGH AN ON-SITE SOUND BARRIER (WALL). THE 10-FOOT SOUND WALL SHALL BEGIN AT THE SOUTHWESTERN EDGE OF THE PROPERTY AND WOULD TRAVEL NORTH ALONG THE PROPERTY LINE TO A POINT APPROXIMATELY SIX FEET NORTH OF THE SOUTHERN EDGE OF THE LOADING DOCK ENCLOSURE. A SIX-FOOT WALL SHALL THEN CONTINUE TO THE NORTHWESTERN CORNER OF THE PROPERTY. THE SOUND ATTENUATION WALL MUST BE SOLID. IT CAN BE CONSTRUCTED OF MASONRY, WOOD, PLASTIC, FIBERGLASS, STEEL, OR A COMBINATION OF THOSE MATERIALS, AS LONG AS THERE ARE NO CRACKS OR GAPS, THROUGH OR BELOW THE WALL. ANY SEAMS OR CRACKS MUST BE FILLED OR CAULKED. IF WOOD IS USED, IT CAN BE TONGUE AND GROOVE AND MUST BE AT LEAST ONE-INCH TOTAL THICKNESS OR HAVE A DENSITY OF AT LEAST 3 1/2 POUNDS PER SQUARE FOOT. SHEET METAL OF 18 GAUGE (MINIMUM) MAY BE USED, IF IT MEETS THE OTHER CRITERIA AND IS PROPERLY SUPPORTED AND STIFFENED SO THAT IT DOES NOT RATTLE OR CREATE NOISE ITSELF FROM VIBRATION OR WIND.
NOI-3 NOISE LEVELS FROM OPERATIONAL NOISE GENERATED BY ROOFTOP EQUIPMENT SHALL MEET THE ARITHMETIC MEAN OF THE NOISE ORDINANCE STANDARDS BETWEEN A COMMERCIAL AND RESIDENTIAL USE. THIS STANDARD IS 55 DBA LEQ DURING THE HOURS BETWEEN 7:00 A.M. AND 10:00 P.M. AND 50 DBA LEQ DURING THE HOURS BETWEEN 10:00 P.M. AND 7:00 A.M. NOISE REDUCTION MAY BE ACCOMPLISHED THROUGH AN ARCHITECTURAL PARAPET. THE GROCERY STORE'S ARCHITECTURAL PARAPET SHALL BE CONSTRUCTED ALONG THE EDGES OF THE STRUCTURE'S ROOF. THE PARAPET SHALL BE AT LEAST ONE FOOT HIGHER THAN THE TALLEST ROOFTOP EQUIPMENT. NO GAPS OR PERFORATIONS SHALL BE DESIGNED INTO THE PARAPET ALONG THE NORTHERN AND WESTERN EDGE OF THE BUILDING.
NOI-4 DURING DAYTIME HOURS, ANY TRUCKS QUEUING WITHIN THE PARKING LOT SHALL BE REQUIRED TO SHUT OFF ANY IDLING ENGINES AND MOBILE REFRIGERATION UNITS AFTER A PERIOD OF FIVE MINUTES. TRUCKS SHALL NOT IDLE OR TURN ON A MOBILE REFRIGERATION UNIT WITHIN 50 FEET OF THE SOUND WALL AT THE WESTERN PROPERTY LINE EXCEPT WHEN ENTERING THE LOADING DOCK. FURTHERMORE, NO LOADING OR QUEUING OF VENDOR TRUCKS SHALL OCCUR WITHIN THE PARKING LOT AREA PRIOR TO 7:00 A.M.

SITE DEVELOPMENT PLAN EXPIRES: THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

Table with 2 columns: INSPECTION PRIORITY, HIGH; WQID NO., TBD

CITY of VISTA logo and general notes: ADDRESS: NWC OF E. VISTA WAY & MONTE MAR RD, APPROVED FOR CITY ENGINEER RCE EXP. LIC. DATE DATE, SHEET 2 OF 17, BENCH MARK: CV82-91, FOUND LEAD & CONCRETE NAIL AT BEGINNING CURB RETURN OF E VISTA WAY & FOOTHILL DRIVE. ELEVATION: 445.090. NAVD88. GP18-032

NOT FOR CONSTRUCTION

LEGEND

DESCRIPTION	STANDARD	SYMBOL	QUANTITY
CENTERLINE		---	
PROPERTY LINE		----	
EASEMENT LINE		-----	
RIGHT OF WAY LINE		-----	
PROPOSED STORM DRAIN PIPE		=====	
EXISTING STORM DRAIN PIPE		=====	
GRADE BREAK LINE		-----	
FLOW LINE		-----	
FLOOD ZONE LIMIT		-----	
RETAINING WALL		-----	
PROPOSED SPOT ELEVATION		XXX.XX TC XXX.XX FS	
EXISTING SPOT ELEVATION		(XXX.XX TC) (XXX.XX FS)	
CONTOUR LABEL		450	
PROPOSED FLOW (DIRECTION AND SLOPE)		2.00%	
LANDSCAPE AREA		[Symbol]	
BIOFILTRATION BASIN (SEE DETAIL 1, SHEET 13)		[Symbol]	
PRINSCO UNDERGROUND STORMWATER CHAMBERS		[Symbol]	
4" PCC CONCRETE SIDEWALK PER SDRSD G-07, G-09 & G-10		[Symbol]	
HEAVY DUTY CONCRETE PAVEMENT PER GEOTECHNICAL RECOMMENDATIONS		[Symbol]	
GRAVEL PAD (RIP RAP ENERGY DISSIPATOR)		[Symbol]	
HEAVY DUTY ASPHALT CONCRETE PAVEMENT PER GEOTECHNICAL RECOMMENDATIONS		[Symbol]	
DETECTABLE WARNING DOMES		[Symbol]	
CART CORRAL		CC	
SIGN POST		•	
STANDARD PARKING STALL ROW COUNT		XX	

ABBREVIATIONS

ABBREVIATION	DESCRIPTION
AC	ASPHALT CONCRETE
BMP	BEST MANAGEMENT PRACTICE
CONC	CONCRETE
COV	CITY OF VISTA
DWG	DRAWING
EG	EXISTING GRADE
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOWLINE
FS	FINISHED SURFACE
MAX	MAXIMUM
MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
NO.	NUMBER
NTS	NOT TO SCALE
PL	PROPERTY LINE
R	RADIUS
R/W	RIGHT OF WAY
SDRSD	SAN DIEGO REGIONAL STANDARD
SDWK	SIDEWALK
SF	SQUARE FEET
TC	TOP OF CURB
VD	VISTA IRRIGATION DISTRICT


NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN EXPIRES:
THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

STORMWATER	
INSPECTION PRIORITY	WDID NO. TBD

CITY of VISTA

LEGEND AND ABBREVIATIONS FOR:



ADDRESS: NWC OF E. VISTA WAY & MONTE MAR RD

APPROVED FOR CITY ENGINEER: 70128 9/30/20 RCE EXP. LIC. DATE DATE SHEET 3 OF 17

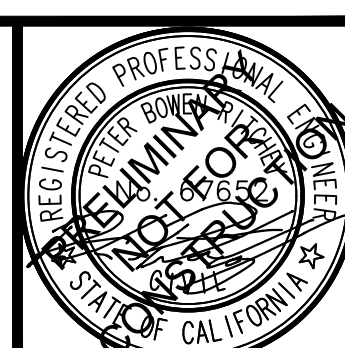
BENCH MARK: CV82-91, FOUND LEAD & CONCRETE NAIL AT BEGINNING CURB RETURN OF E VISTA WAY & FOOTHILL DRIVE. ELEVATION: 445.090. NAVD88. GP18-032

NO.	DESCRIPTION	QTY	DATE	VD	DATE

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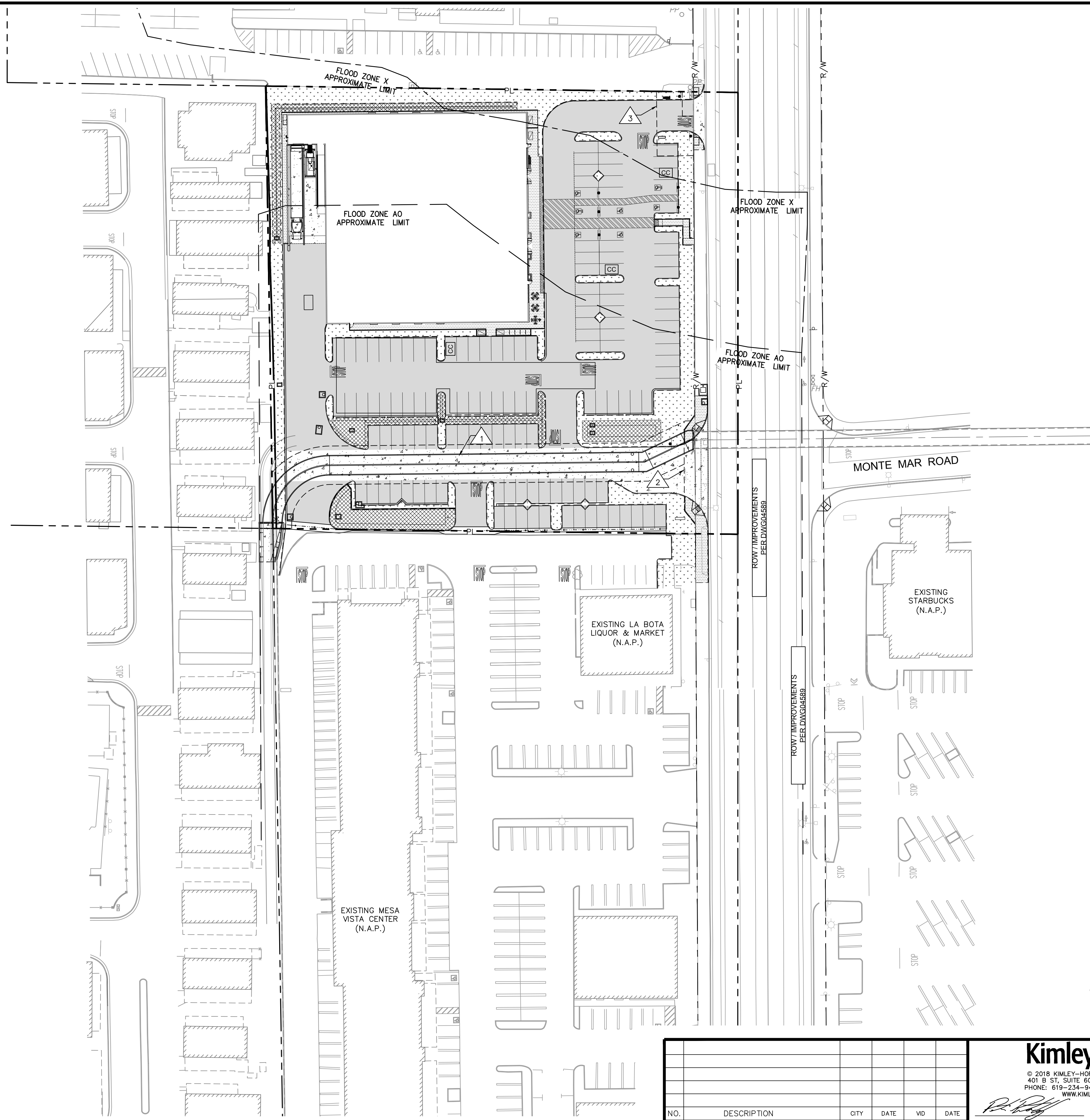
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[Signature] 67652 06/30/2019
ENGINEER OF WORK RCE EXP. LIC. DATE DATE



EASEMENT INFORMATION

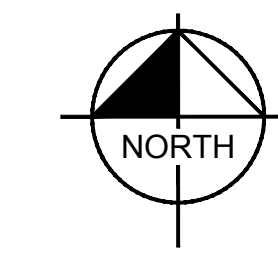
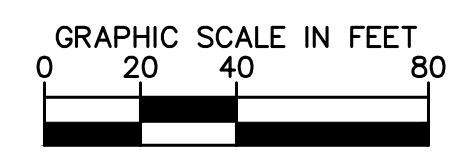
- 1 30' PUBLIC STORMWATER EASEMENT PER DOC: _____
- 2 PUBLIC RIGHT OF WAY DEDICATION PER DOC: _____
- 3 VISTA IRRIGATION DISTRICT RIGHT OF WAY (PER VID 5-1) DEDICATION PER DOC: _____



NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN EXPIRES:
THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

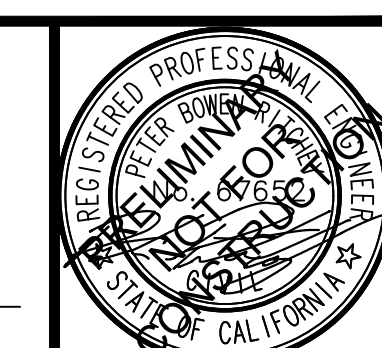
STORMWATER	
INSPECTION PRIORITY	HIGH
WDID NO.	TBD



NO.	DESCRIPTION	QTY	DATE	VID	DATE
APPROVED CHANGES					

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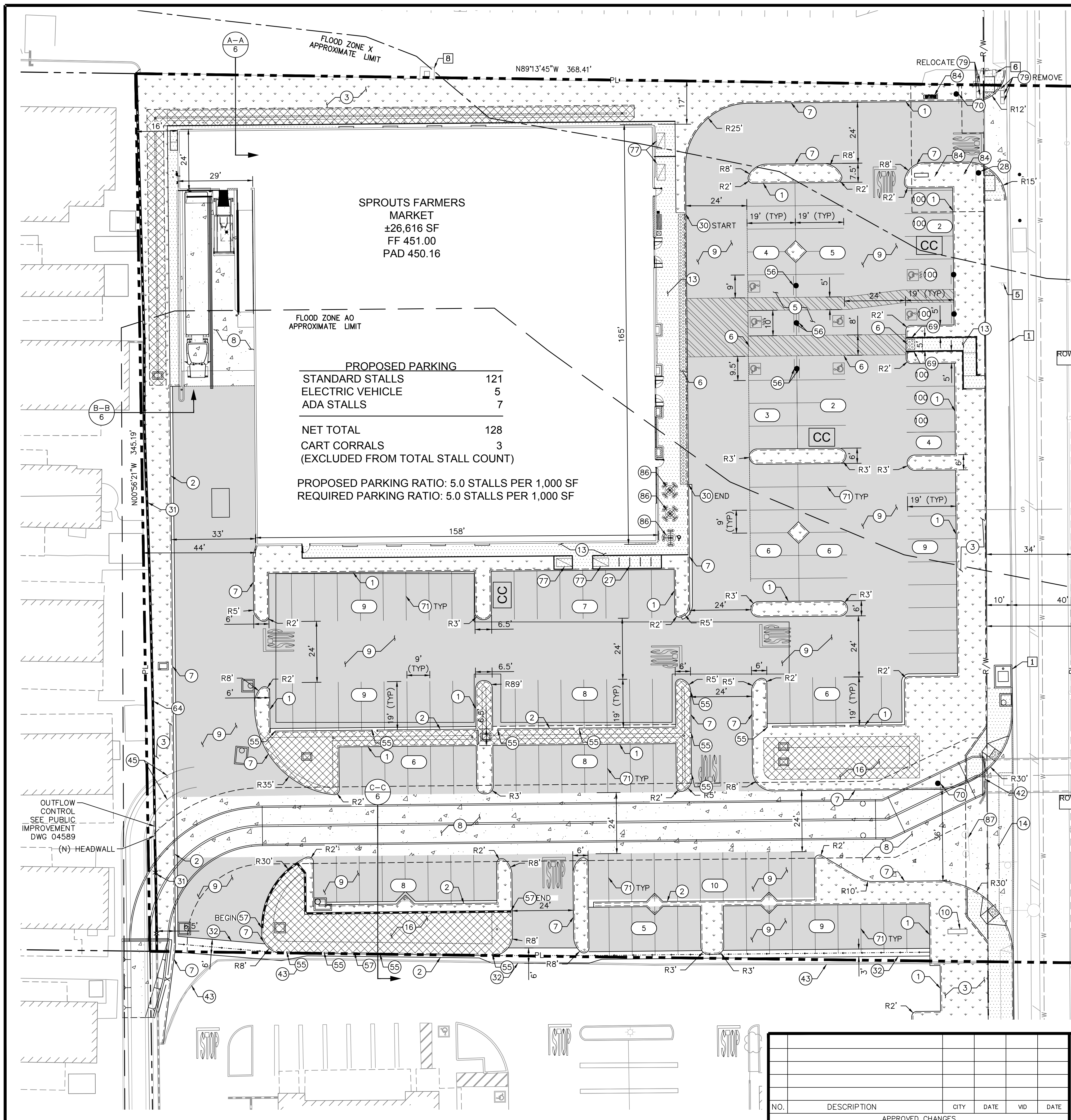
CITY of VISTA

SITE VICINITY MAP FOR:

ADDRESS: NWC OF E. VISTA WAY & MONTE MAR RD

APPROVED FOR CITY ENGINEER 70128 9/30/20 RCE EXP. LIC. DATE DATE SHEET 4 OF 17

BENCH MARK: CV82-91, FOUND LEAD & CONCRETE NAIL AT BEGINNING CURB RETURN OF E VISTA WAY & FOOTHILL DRIVE. ELEVATION: 445.090. NAVD88. GP18-032



SPROUTS FARMERS MARKET
 ±26,616 SF
 FF 451.00
 PAD 450.16

PROPOSED PARKING	
STANDARD STALLS	121
ELECTRIC VEHICLE	5
ADA STALLS	7
NET TOTAL	128
CART CORRALS	3
(EXCLUDED FROM TOTAL STALL COUNT)	
PROPOSED PARKING RATIO: 5.0 STALLS PER 1,000 SF	
REQUIRED PARKING RATIO: 5.0 STALLS PER 1,000 SF	

LEGEND

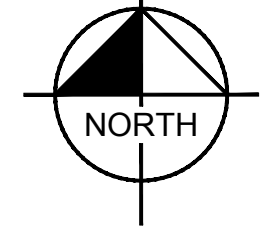
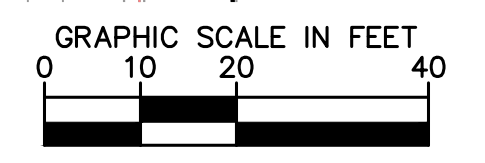
- CENTERLINE
- PROPERTY LINE
- EASEMENT LIMITS
- RIGHT OF WAY LINE
- RETAINING WALL
- 4" PCC CONCRETE SIDEWALK PER SDRSD G-07, G-09 & G-10
- HEAVY DUTY CONCRETE PAVEMENT
- LANDSCAPE/PLANTER AREA

LEGEND

- GRAVEL PAD (RIP RAP ENERGY DISSIPATOR)
- HEAVY DUTY ASPHALT CONCRETE PAVEMENT PER GEOTECHNICAL RECOMMENDATIONS
- DETECTABLE WARNING DOMES
- BIOFILTRATION BASIN SEE (DETAIL 1, SHEET 11)
- CART CORRAL
- SIGN POST
- STANDARD PARKING STALL ROW COUNT

- PROTECT EXISTING NOTES**
- 1 PROTECT IN PLACE (E) CURB & GUTTER
 - 2 PROTECT IN PLACE (E) SEWER/SD MANHOLE
 - 3 PROTECT IN PLACE (E) FIRE HYDRANT
 - 4 PROTECT IN PLACE (E) BLOCK WALL
 - 5 PROTECT IN PLACE (E) SIGN
 - 6 PROTECT IN PLACE (E) WATER UTILITY
 - 7 PROTECT IN PLACE (E) STREET LIGHT
 - 8 PROTECT IN PLACE (E) CATCH BASIN
 - 9 PROTECT IN PLACE (E) TELEPHONE UTILITY
 - 10 PROTECT IN PLACE (E) ELECTRIC BOX/VAULT
 - 11 PROTECT IN PLACE (E) DOUBLE BOX CULVERT 2'-6"(W) X 3'(H)
 - 12 PROTECT IN PLACE (E) CONCRETE PAVEMENT

- CONSTRUCTION NOTES**
- 1 6" CONCRETE CURB PER SDRSD G-01
 - 2 6" CONCRETE CURB & GUTTER TYPE G PER SDRSD G-02
 - 3 LANDSCAPE AREA PER LANDSCAPE PLANS
 - 5 ACCESSIBLE PARKING PER DETAIL 4 ON SHEET 8
 - 6 TRUNCATED DOMES PER SDRSD G-30 AND DETAIL 14 SHEET 9
 - 7 PAINTED RED CURB
 - 8 CONCRETE PAVEMENT PER DETAIL 2 SHEET 8
 - 9 AC PAVEMENT PER DETAIL 2 SHEET 8
 - 10 SITE MONUMENT SIGN BY OTHERS, SEE ARCHITECTURAL PLANS.
 - 13 4" PCC CONCRETE SIDEWALK PER SDRSD G-07, G-09 & G-10
 - 14 DRIVEWAY PER CITY OF VISTA STD. DWG. SRF-05A
 - 16 BIOFILTRATION BASIN (SEE SHEET 13 FOR DETAILS)
 - 27 BELSON OUTDOOR BIKE RACK INLINE (MODEL BRI-IG) OR APPROVED OTHER
 - 28 INSTALL R1-1 PER MUTCD
 - 30 0" CURB PER SDRSD G-01
 - 31 CONSTRUCT SCREEN WALL PER SDMC INFORMATION BULLETIN 223: WOOD AND MASONRY FENCES (SEE PROFILE SHEET 11)
 - 32 CONCRETE CROSS GUTTER PER SDRSD G-12, WIDTH PER PLAN
 - 42 REMOVE EXIST HEADWALL
 - 43 REMOVE EXIST CURB
 - 45 REMOVE EXIST CONCRETE CHANNEL
 - 55 INSTALL 2' WIDE CURB CUT (SEE DETAIL 3, SHEET 8)
 - 56 ADA SIGNS PER DETAIL 6 ON SHEET 8
 - 57 CONSTRUCT MASONRY RETAINING WALL TYPE 1 PER SDRSD C-01, C-07, C-08 (SEE PROFILE SHEET 11)
 - 64 REMOVE EXIST MASONRY WALL AND FOOTING
 - 69 HANDRAIL PER SDRSD M-24 & M-25
 - 70 INSTALL "UNAUTHORIZED" SIGN PER DETAIL 7 ON SHEET 8
 - 71 PARKING STRIPE PER DETAIL 8 ON SHEET 8
 - 77 BELSON DERO LONG TERM BIKE LOCKER (MODEL BL-SS-GV-33) OR APPROVED OTHER
 - 79 REMOVE AND RELOCATE EXISTING PULL BOX
 - 84 4" PCC CONCRETE UTILITY PAD
 - 86 OUTDOOR SEATING PER ARCHITECTURAL PLANS
 - 87 REMOVE EXISTING SIGN
 - 101 PARKING STALL WITH ELECTRIC VEHICLE CHARGING STATION



NOTE: SEPARATE PERMIT FOR ALL SITE LIGHTING, RETAINING WALLS OVER 3' ABOVE GRADE AND FENCES OVER 7' HIGH

SITE DEVELOPMENT PLAN EXPIRES: THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

STORMWATER INSPECTION PRIORITY: HIGH WDDID NO. TBD

CITY of VISTA

SITE PLAN FOR:

SPROUTS FARMERS MARKET

ADDRESS: NWC OF E. VISTA WAY & MONTE MAR RD

APPROVED

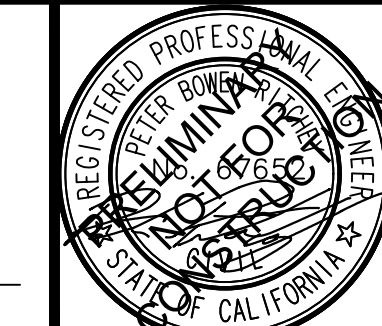
FOR CITY ENGINEER: 70128 9/30/20 RCE EXP. LIC. DATE DATE SHEET 5 OF 17

BENCH MARK: CV82-91, FOUND LEAD & CONCRETE NAIL AT BEGINNING CURB RETURN OF E VISTA WAY & FOOTHILL DRIVE. ELEVATION: 445.090. NAVD88. GP18-032

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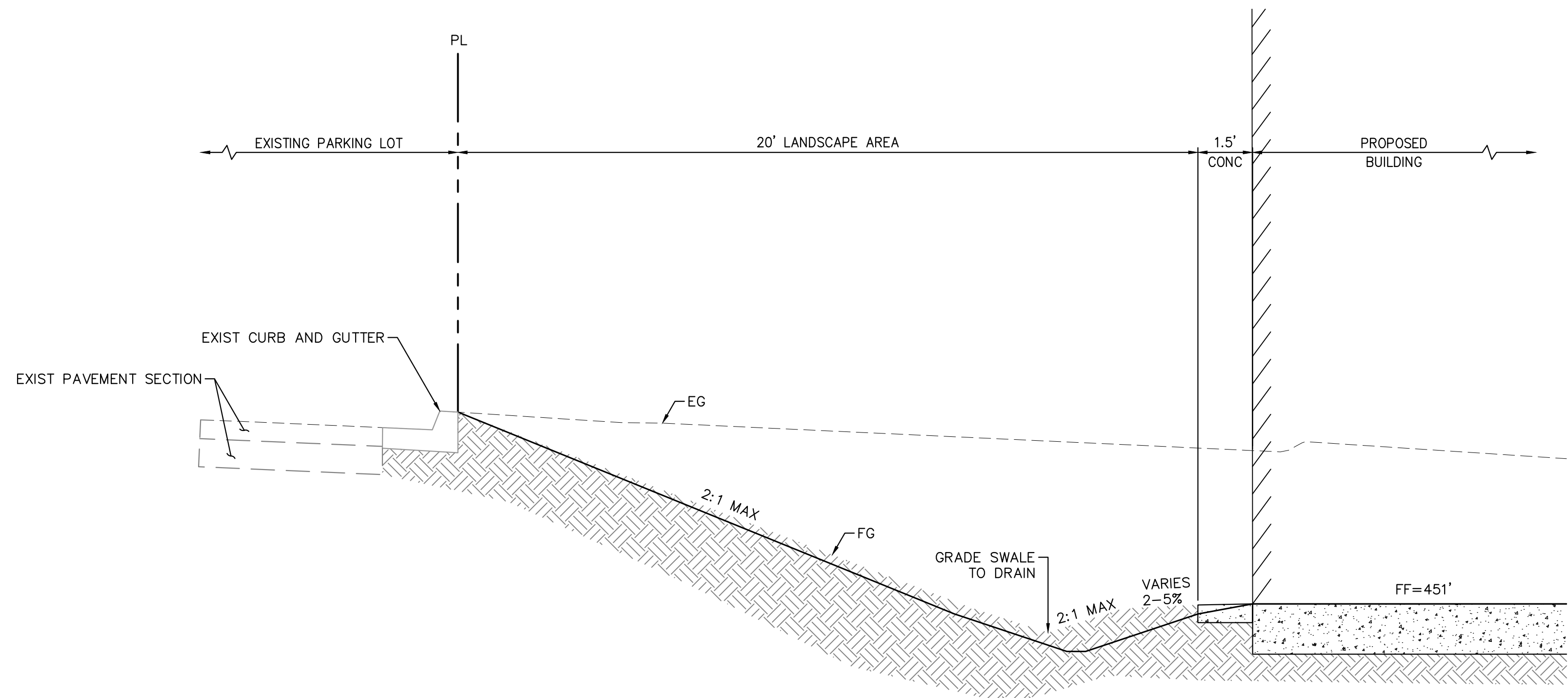
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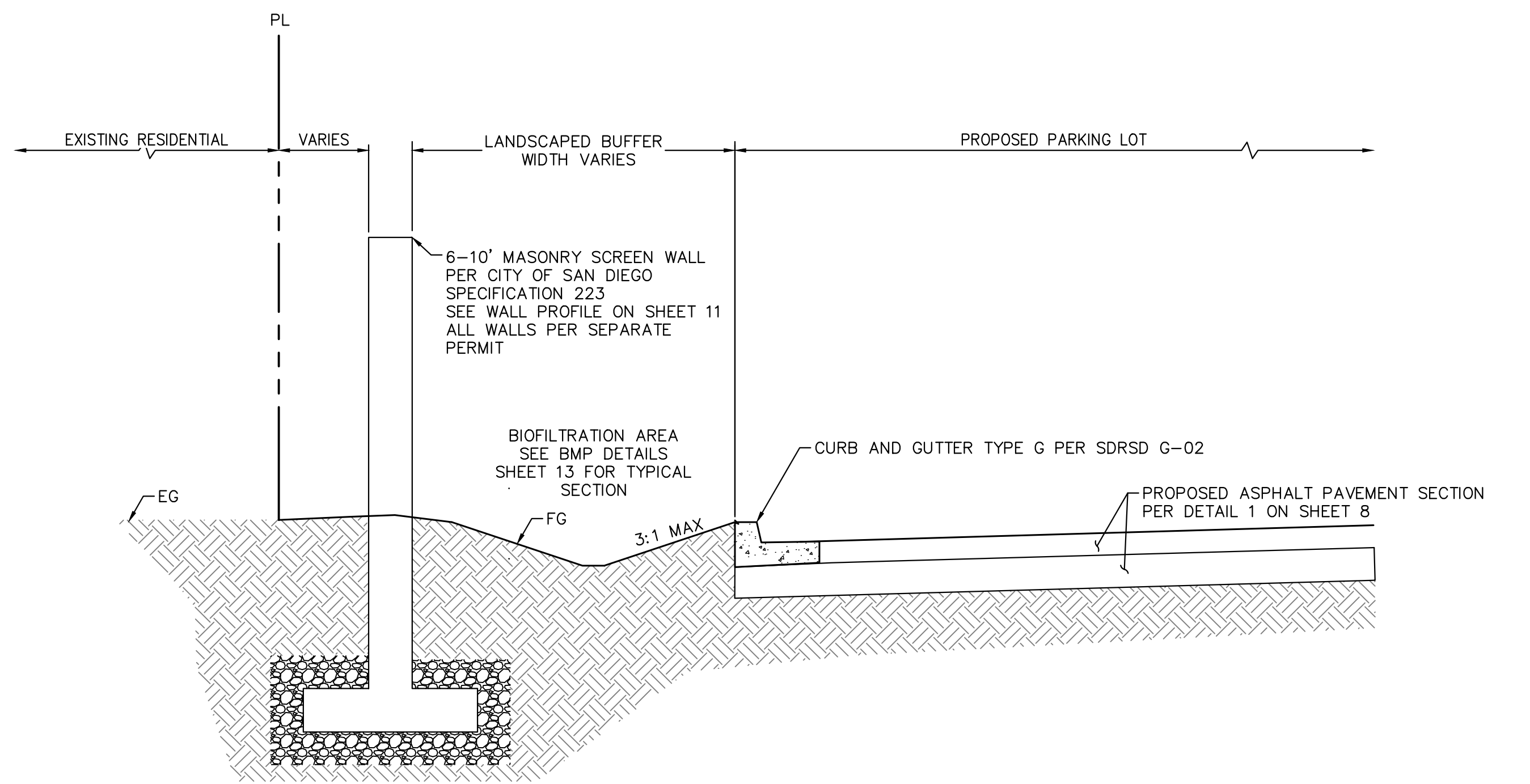


NO.	DESCRIPTION	QTY	DATE	VID	DATE
APPROVED CHANGES					

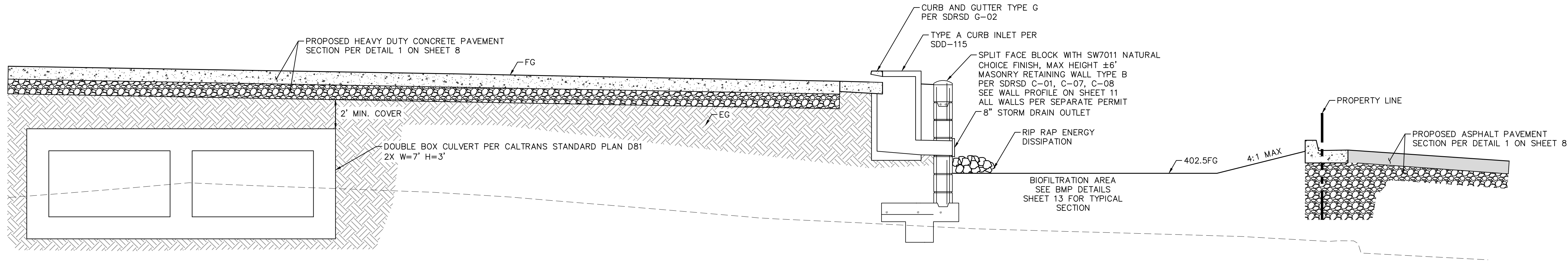
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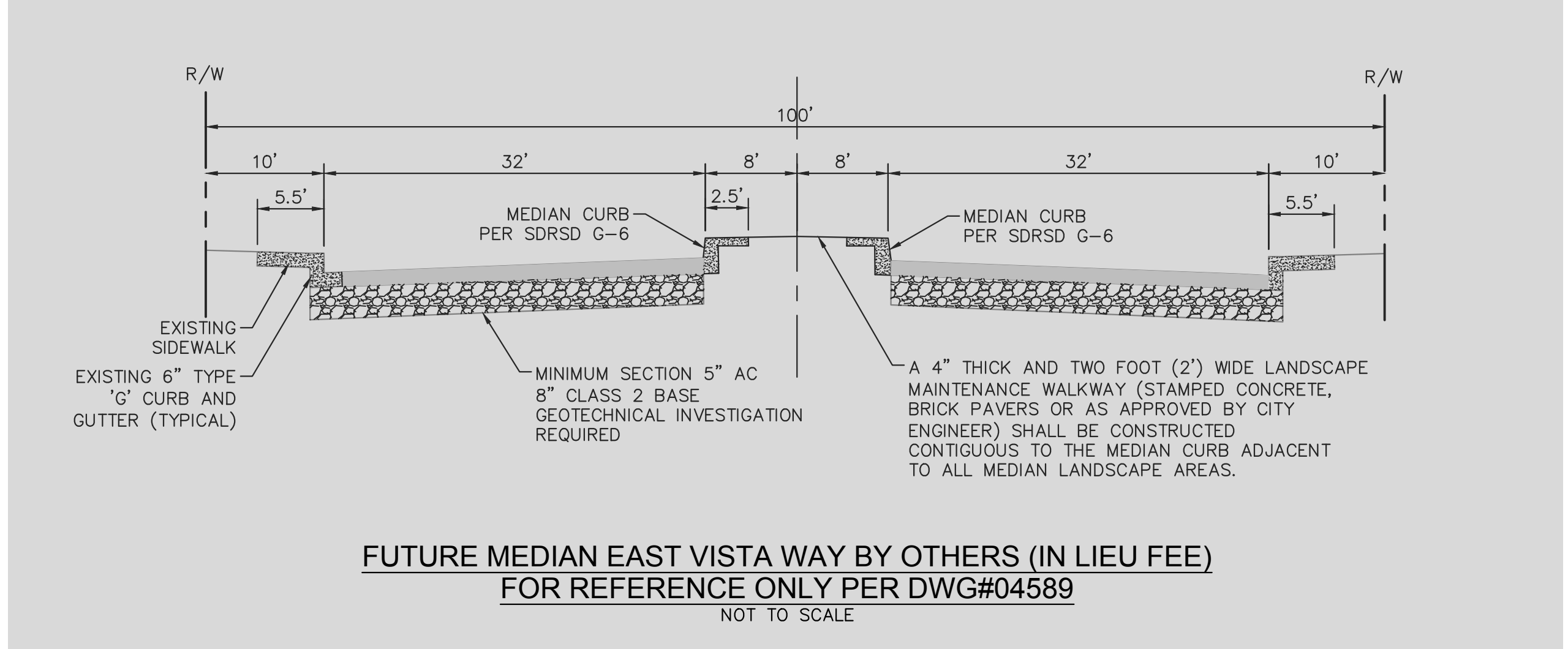
SECTION A-A
NOT TO SCALE



SECTION B-B
NOT TO SCALE



SECTION C-C
NOT TO SCALE



FUTURE MEDIAN EAST VISTA WAY BY OTHERS (IN LIEU FEE)
FOR REFERENCE ONLY PER DWG#04589
NOT TO SCALE

NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN EXPIRES:
THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

STORMWATER
INSPECTION PRIORITY HIGH WDD NO. TBD

CITY of VISTA

SECTIONS FOR:

SPROUTS FARMERS MARKET

ADDRESS: NWC OF E. VISTA WAY & MONTE MAR RD

APPROVED

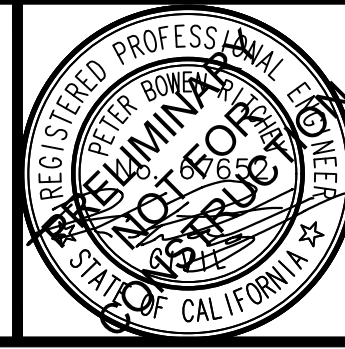
FOR CITY ENGINEER: 70128 9/30/20 RCE EXP. LIC. DATE DATE SHEET 6 OF 17

BENCH MARK: CV82-91, FOUND LEAD & CONCRETE NAIL AT BEGINNING CURB RETURN OF E VISTA WAY & Foothill Drive. ELEVATION: 445.090. NAVD88. **GP18-032**

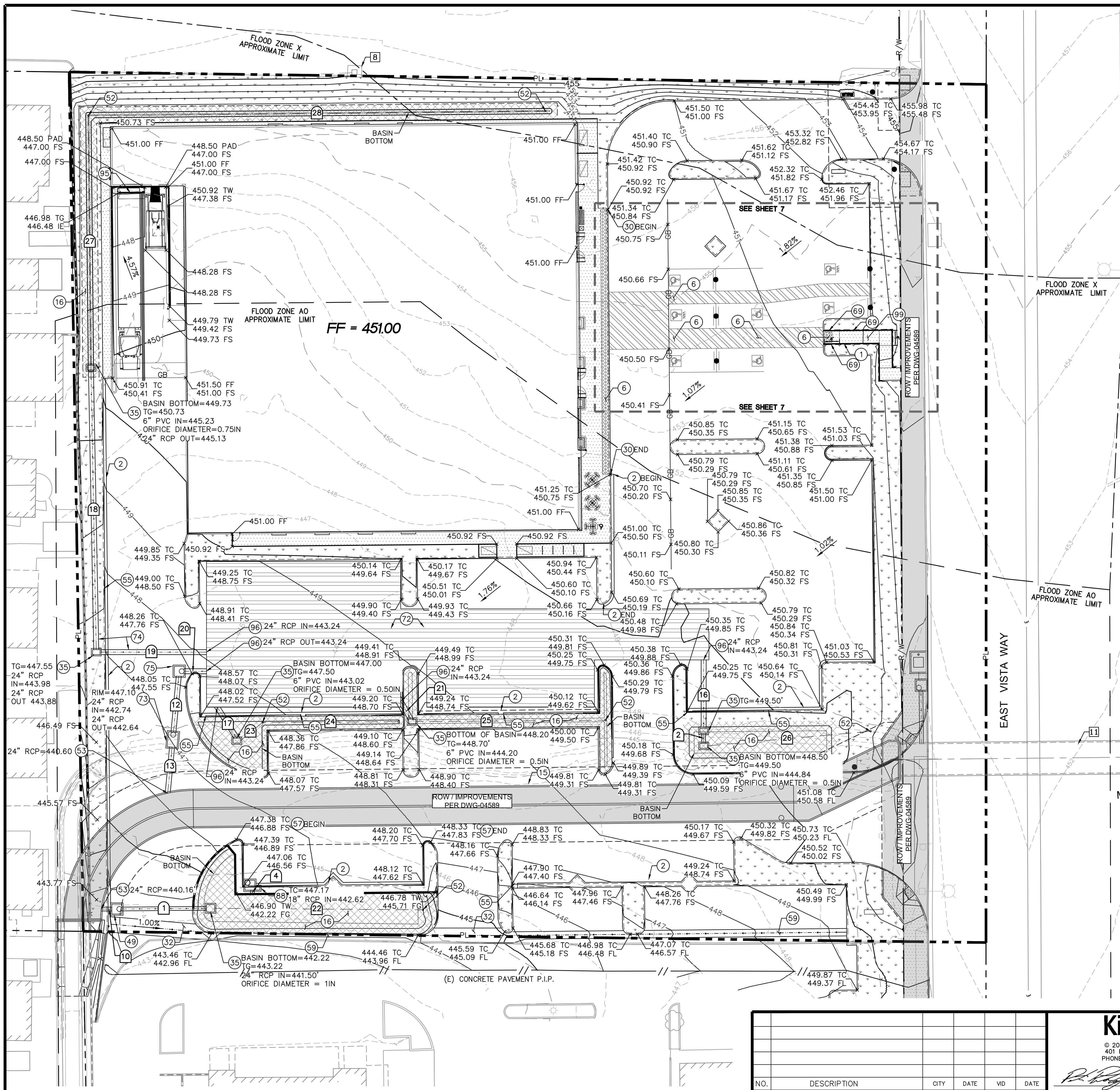
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NO.	DESCRIPTION	QTY	DATE	VID	DATE
APPROVED CHANGES					



LEGEND

- CENTERLINE
- - - PROPERTY LINE
- - - EASEMENT LINE
- - - RIGHT OF WAY LINE
- PROPOSED STORM DRAIN PIPE
- EXISTING STORM DRAIN PIPE
- - - GB GRADE BREAK LINE
- FLOW LINE
- - - PERFORATED STORM DRAIN PIPE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- 450 CONTOUR LABEL
- 2.00% PROPOSED FLOW (DIRECTION AND SLOPE)
- [Pattern] LANDSCAPE AREA
- [Pattern] BIOFILTRATION BASIN (SEE DETAIL 1, SHEET 9)
- [Pattern] PRINSCO UNDERGROUND STORMWATER CHAMBERS
- [Pattern] DRAINAGE SWALE (SEE SECTION A-A, SHEET 6)

PIPE TABLE					
PIPE NO.	LENGTH	BEARING	SIZE	MATERIAL	SLOPE
1	35.02	S89° 34' 15"W	24"	RCP	2.1%
2	5.25	N0° 00' 00"E	18"	RCP	0.5%
4	1.17	S0° 23' 10"W	18"	RCP	1.0%
10	4.22	N89° 33' 05"E	24"	RCP	8.9%
12	23.62	S5° 24' 29"W	24"	RCP	1.0%
16	28.51	N0° 00' 00"E	24"	RCP	6.2%
17	15.87	N32° 11' 03"W	24"	RCP	4.2%
18	111.52	S1° 03' 54"E	24"	RCP	1.0%
19	42.49	N90° 00' 00"E	24"	RCP	1.5%
20	8.96	N90° 00' 00"W	24"	RCP	1.0%
21	8.17	N29° 10' 54"W	24"	RCP	10.4%
22	84.68	S89° 36' 21"E	6"	PERFORATED PVC	0.5%
23	12.15	N53° 00' 20"E	6"	PERFORATED PVC	0.5%
24	54.60	N89° 40' 34"E	6"	PERFORATED PVC	0.5%
25	76.19	N89° 35' 16"E	6"	PERFORATED PVC	0.5%
26	66.55	N85° 02' 04"E	6"	PERFORATED PVC	0.5%
27	100.22	N0° 35' 19"W	6"	PERFORATED PVC	0.5%
28	183.55	N89° 24' 39"E	6"	PERFORATED PVC	0.5%

EXISTING ITEM NOTES

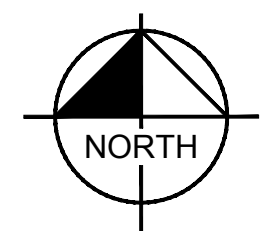
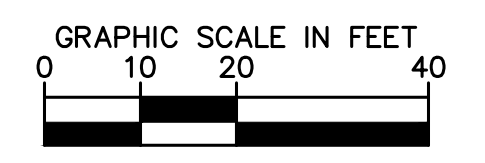
- [8] PROTECT IN PLACE (E) CATCH BASIN
- [11] PROTECT IN PLACE (E) DOUBLE BOX CULVERT

CONSTRUCTION NOTES

- [1] 6" CONCRETE CURB PER SDRSD G-01
- [2] 6" CONCRETE CURB & GUTTER TYPE G PER SDRSD G-02
- [6] TRUNCATED DOMES PER SDRSD G-30 AND DETAIL 14 SHEET 9
- [15] DOUBLE BOX CULVERT 7' X 3' PER CALTRANS STANDARD PLAN D81
- [16] BIOFILTRATION BASIN (SEE SHEET 13 FOR DETAILS)
- [30] 0" CURB PER SDRSD G-01
- [32] CONCRETE CROSS GUTTER PER SDRSD G-12, WIDTH PER PLAN
- [35] 24"x36" JENSEN PRECAST CONCRETE DROP INLET (SEE DETAIL 13, SHEET 7)
- [49] TYPE A4 CLEANOUT WITH IN-LINE REDFLEX CHECK VALVE AND BOLTED RIM
- [52] 6" CLEANOUT WITH CAP (SEE DETAIL 11, SHEET 8)
- [53] CONNECT TO BOX CULVERT
- [55] INSTALL 2' WIDE CURB CUT (SEE DETAIL 3, SHEET 8)
- [57] CONSTRUCT MASONRY RETAINING WALL TYPE 1 PER SDRSD C-01, C-07, C-08 (SEE PROFILE SHEET 11)
- [59] CONCRETE RIBBON GUTTER PER SDRSD G-12
- [69] HANDRAIL PER SDRSD M-24 & M-25
- [72] PRINSCO HYDROSTOR UNDERGROUND STORMWATER CHAMBERS: MODEL HS75, 18,183 CF STORAGE
- [73] CONSTRUCT TYPE A4 CLEANOUT W/ FLOW CONTROL ORIFICE AND WEIR AND BOLTED RIM. SEE DETAIL 8 ON SHEET 13
- [74] 24" RCP STORM DRAIN
- [75] CONSTRUCT TYPE A4 CLEANOUT
- [88] CURB INLET TYPE A PER SDRSD D-01
- [95] DS-232 DURA SLOPE TRENCH DRAIN
- [96] CONNECTION TO PRINSCO UNDERGROUND STORMWATER CHAMBERS, SEE PRINSCO PLANS FOR MORE INFORMATION
- [99] ACCESSIBLE RAMP PER DETAIL 13 SHEET 9

SITE DEVELOPMENT PLAN EXPIRES:
THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

STORMWATER		
INSPECTION PRIORITY	HIGH	WDD NO. TBD



CITY of VISTA

PRECISE GRADING AND DRAINAGE PLAN FOR:



ADDRESS: NWC OF E. VISTA WAY & MONTE MAR RD

APPROVED FOR CITY ENGINEER: 70128 9/30/20 RCE EXP. LIC. DATE DATE SHEET 7 OF 17

BENCH MARK: CV82-91, FOUND LEAD & CONCRETE NAIL AT BEGINNING CURB RETURN OF E VISTA WAY & FOOTHILL DRIVE. ELEVATION: 445.090. NAVD88. GP18-032

Kimley Horn

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PHONE: 619-234-9411 FAX: 714-938-9488
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67652 06/30/2019
ENGINEER OF WORK RCE EXP. LIC. DATE DATE



NO.	DESCRIPTION	QTY	DATE	VID	DATE
APPROVED CHANGES					

NOT FOR CONSTRUCTION

NOTES:

- CONTRACTOR SHALL CONFIRM THESE PAVEMENT SECTIONS WITH THE GEOTECHNICAL REPORT BY ATC DESIGN GROUP, JANUARY 4TH, 2018.
- MATCH EXISTING PAVEMENT SECTION IF MORE STRINGENT THAN SECTION PER THIS DETAIL.
- CONTRACTOR TO PROVIDE R-VALUE OF COMPACTED SUBGRADE TO ENGINEER PRIOR TO PAVEMENT OPERATIONS, IN ORDER TO MAKE ANY NECESSARY ADJUSTMENTS TO THE PAVEMENT SECTION.
- ALL TREAD SURFACES SHALL BE SLIP-RESISTANT. REFER TO ARCHITECTURAL PLANS FOR COLOR, TEXTURE, PATTERN AND FINISH.
- SEE DETAIL 2 FOR THICKENED EDGE DETAIL AT ALL EDGE CONDITIONS.

	STANDARD DUTY ASPHALT CONCRETE PAVEMENT	HEAVY DUTY ASPHALT CONCRETE PAVEMENT	STANDARD DUTY SIDEWALK CONCRETE	HEAVY DUTY CONCRETE PAVEMENT
(A)	N/A	0'-4"	0'-4"	0'-5"
(B)	N/A	0'-6"	0'-0"	0'-4"
(C)	N/A	6"-8" MIN	6"-8" MIN	6"-8" MIN

PAVEMENT SECTIONS
N.T.S.

NOTES:

- APPROVED BONDING AGENT SHALL BE APPLIED AT CONSTRUCTION JOINT.
- SEE DETAIL 1 FOR PAVEMENT SECTION AND THICKNESS (I).
- DETAIL APPLIES AT ALL SIDEWALK EDGE CONDITIONS AND PAVEMENT TRANSITIONS.
- CONTRACTOR SHALL CONFIRM THESE PAVEMENT SECTIONS WITH THE GEOTECHNICAL REPORT BY ATC DESIGN GROUP, JANUARY 4TH, 2018.

THICKENED EDGE
N.T.S.

3' WIDE CURB CUT
N.T.S.

ADA LOGO STRIPING DETAIL
LOCATED AT EDGE OF PARKING SPACE (PER CBC SECTION 11B-502.6.4)

ACCESSIBLE PARKING STRIPING
N.T.S.

SIGN BASE DETAIL
N.T.S.

ACCESSIBLE PARKING SIGN DETAIL
N.T.S.

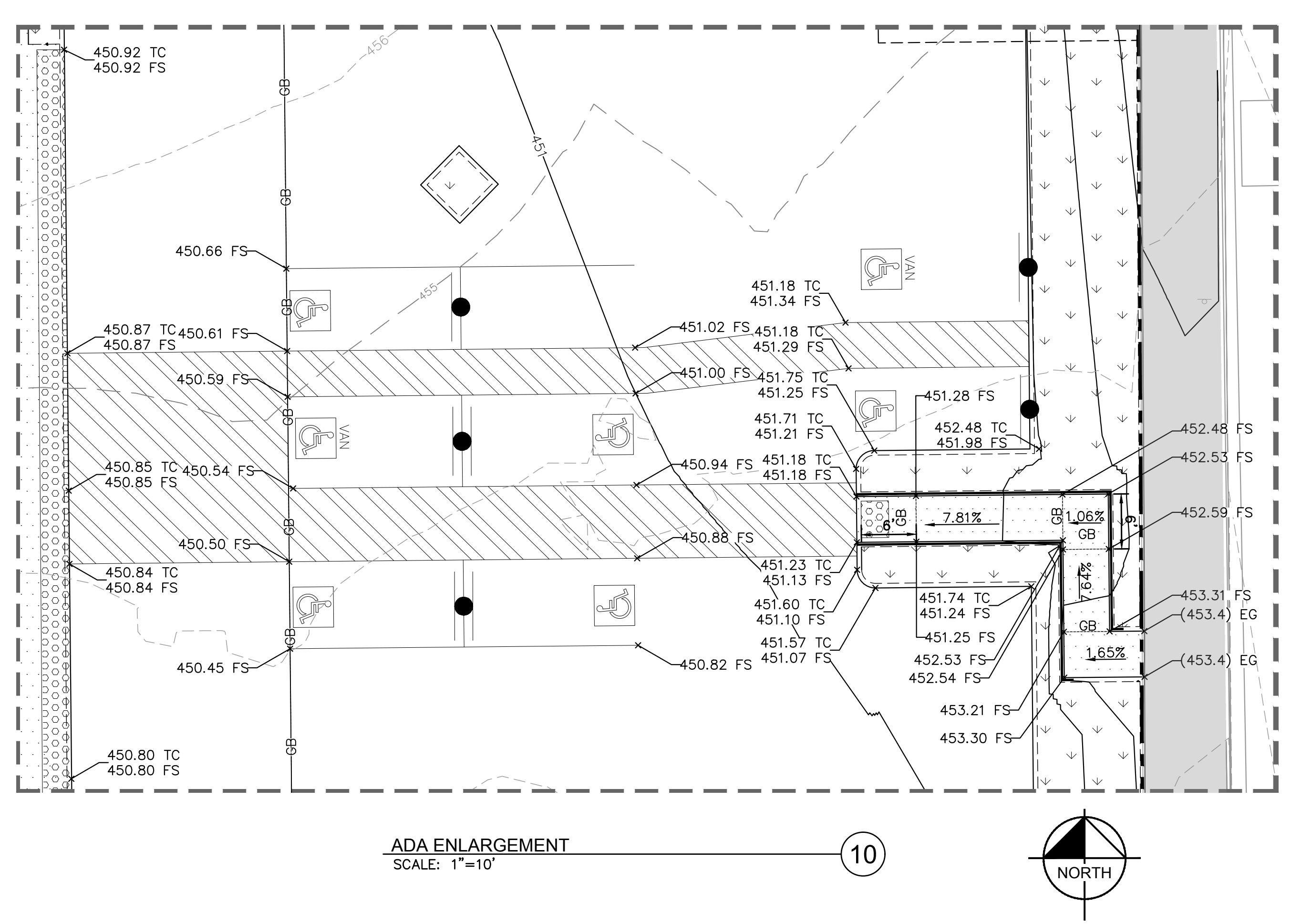
NOTES:

- SIGNS SHALL CONFORM WITH THE MOST CURRENT CALIFORNIA MUTCD STANDARDS.
- SIGNS SHALL BE WALL MOUNTED OR MOUNTED ON A POST PER DETAIL 5.

UNAUTHORIZED VEHICLES PARKING SIGN
N.T.S.

STANDARD 90° PARKING STALL STRIPING
N.T.S.

ACCESSIBLE PATH-OF-TRAVEL STRIPING
N.T.S.



BIOFILTRATION OVERFLOW STRUCTURE
N.T.S.

BIOFILTRATION CLEANOUT
N.T.S.

NOTES:

- MINIMUM OPENING SIZE IN GRATE SHALL BE 1-1/4". GRATE SIZE SHALL MATCH THAT OF THE ASSOCIATED RISER (PER THE DESIGN PLANS). GRATE SHALL FIT SNUG, AND BE REMOVABLE FOR MAINTENANCE PURPOSES.

10 BIOFILTRATION OVERFLOW STRUCTURE
N.T.S.

11 BIOFILTRATION CLEANOUT
N.T.S.

NOTES:

- MINIMUM OPENING SIZE IN GRATE SHALL BE 1-1/4". GRATE SIZE SHALL MATCH THAT OF THE ASSOCIATED RISER (PER THE DESIGN PLANS). GRATE SHALL FIT SNUG, AND BE REMOVABLE FOR MAINTENANCE PURPOSES.

10 ADA ENLARGEMENT
SCALE: 1"=10'

11 BIOFILTRATION CLEANOUT
N.T.S.

12 UNAUTHORIZED VEHICLES PARKING SIGN
N.T.S.

13 STANDARD 90° PARKING STALL STRIPING
N.T.S.

14 ACCESSIBLE PATH-OF-TRAVEL STRIPING
N.T.S.

15 ACCESSIBLE PARKING STRIPING
N.T.S.

16 3' WIDE CURB CUT
N.T.S.

17 PAVEMENT SECTIONS
N.T.S.

18 THICKENED EDGE
N.T.S.

19 SIGN BASE DETAIL
N.T.S.

20 ACCESSIBLE PARKING SIGN DETAIL
N.T.S.

21 UNAUTHORIZED VEHICLES PARKING SIGN
N.T.S.

22 STANDARD 90° PARKING STALL STRIPING
N.T.S.

23 ACCESSIBLE PATH-OF-TRAVEL STRIPING
N.T.S.

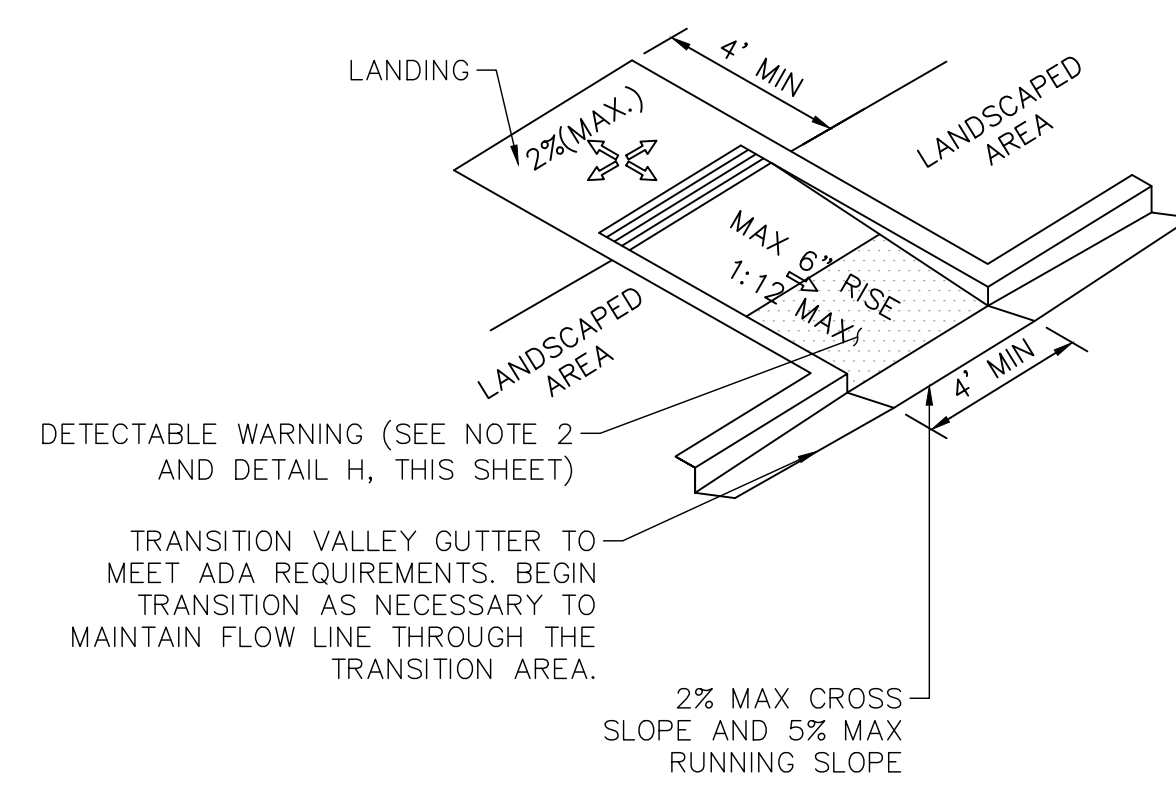
24 BIOFILTRATION OVERFLOW STRUCTURE
N.T.S.

25 BIOFILTRATION CLEANOUT
N.T.S.

NOT FOR CONSTRUCTION

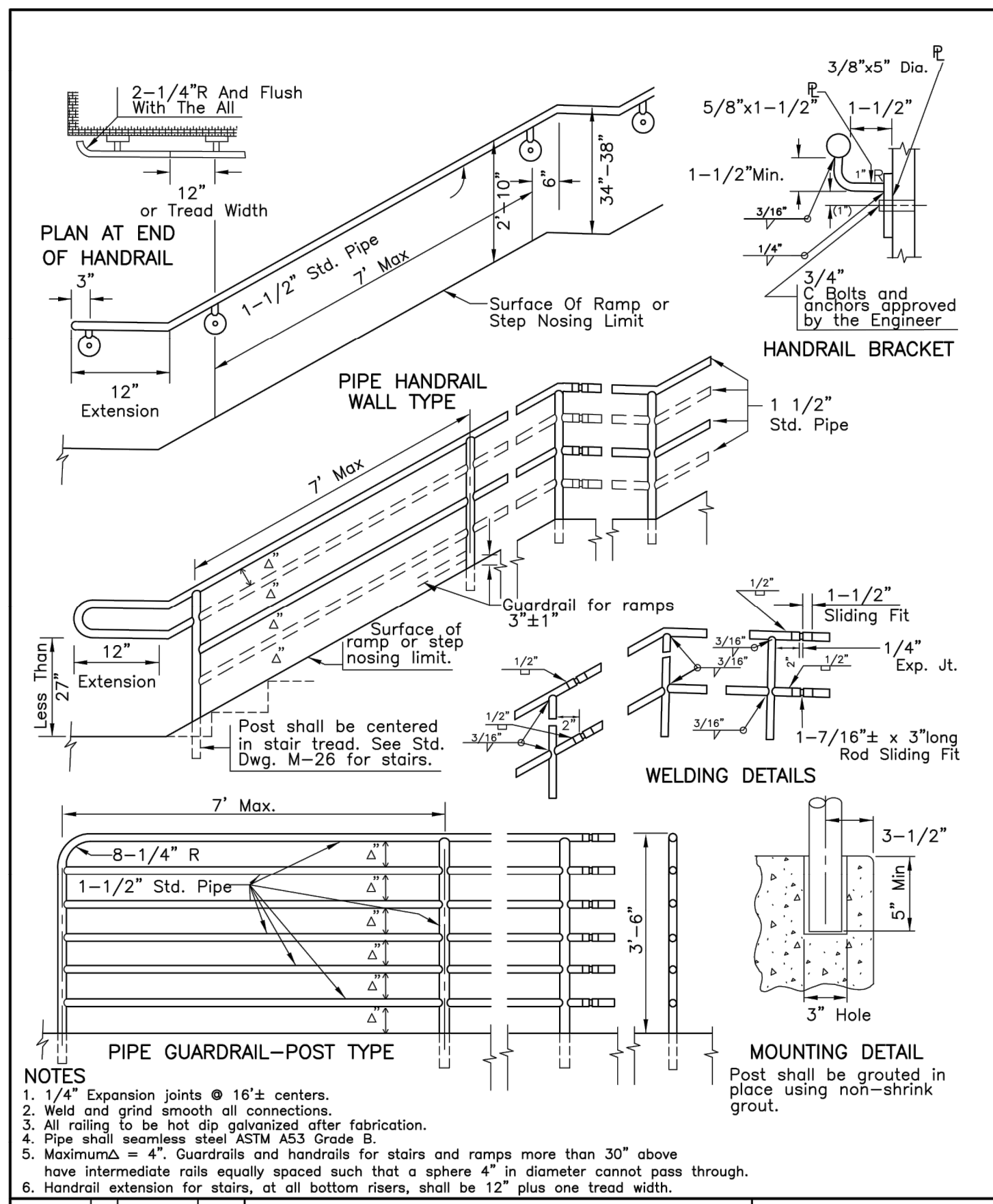
ACCESSIBILITY NOTES

1. DETECTABLE WARNING SURFACES AT HAZARDOUS VEHICULAR CROSSING LOCATIONS SHALL PROVIDE VISUAL CONTRAST AND BE AN INTEGRAL PART OF THE SURFACE.
2. DETECTABLE WARNING SURFACES SHALL BE YELLOW AND APPROXIMATE FS 33538 OF FEDERAL STANDARD 595C.
3. DETECTABLE WARNING SURFACES SHALL PROVIDE A 70% MINIMUM VISUAL CONTRAST WITH ADJACENT WALKING SURFACES.
4. DETECTABLE WARNINGS AT CURB RAMP SHALL EXTEND 36 INCHES IN THE DIRECTION OF TRAVEL. DETECTABLE WARNINGS SHALL EXTEND THE FULL WIDTH OF THE RAMP RUN LESS 2 INCHES MAXIMUM ON EACH SIDE, EXCLUDING ANY FLARED SIDES. DETECTABLE WARNINGS SHALL BE LOCATED SO THE EDGE NEAREST THE CURB IS 6 INCHES MINIMUM AND 8 INCHES MAXIMUM FROM THE LINE AT THE FACE OF CURB, MARKING THE TRANSITION BETWEEN THE CURB AND THE GUTTER, STREET, OR HIGHWAY.
5. DETECTABLE WARNINGS AT HAZARDOUS VEHICULAR AREAS SHALL BE 36 INCHES IN WIDTH.
6. HANDRAILS SHALL BE CONTINUOUS WITHIN THE FULL LENGTH OF THE RAMP RUN. INSIDE HANDRAILS ON SWITCHBACK OR DOGLEG RAMP SHALL BE CONTINUOUS BETWEEN FLIGHTS OR RUNS.
7. TOP OF GRIPPING SURFACES SHALL BE 34 INCHES MINIMUM AND 38 INCHES MAXIMUM VERTICALLY ABOVE WALKING SURFACES AND RAMP SURFACES. HANDRAILS SHALL BE AT A CONSISTENT HEIGHT ABOVE WALKING SURFACES, AND RAMP SURFACES.
8. CLEARANCE BETWEEN HANDRAIL GRIPPING SURFACES AND ADJACENT SURFACES SHALL BE 1.5 INCHES MINIMUM.
9. HANDRAIL GRIPPING SURFACES SHALL BE CONTINUOUS ALONG THEIR LENGTH AND SHALL NOT BE OBSTRUCTED ALONG THEIR TOPS OR SIDES. THE BOTTOMS OF HANDRAIL GRIPPING SURFACES SHALL NOT BE OBSTRUCTED FOR MORE THAN 20 PERCENT OF THEIR LENGTH. WHERE PROVIDED, HORIZONTAL PROJECTIONS SHALL OCCUR 1.5 INCHES MINIMUM BELOW THE BOTTOM OF THE HANDRAIL GRIPPING SURFACE.
10. HANDRAIL GRIPPING SURFACES WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF 1.25 INCHES MINIMUM AND 2 INCHES MAXIMUM.
11. HANDRAIL GRIPPING SURFACES AND ANY SURFACES ADJACENT TO THEM SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS AND SHALL HAVE ROUNDED EDGES.
12. HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
13. RAMP HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 12 INCHES MINIMUM BEYOND THE TOP AND BOTTOM OF RAMP RUNS AND IN THE SAME DIRECTION OF RAMP RUNS. EXTENSIONS SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT RAMP RUN.



1. ALL ACCESSIBLE COMPONENTS CONSTRUCTED AS PART OF THESE PLANS SHALL COMPLY WITH THE LOCAL, STATE, AND FEDERAL REGULATIONS WHICHEVER ARE MORE STRINGENT.
2. CURB RAMP SHALL HAVE A DETECTABLE WARNING EXTENDING THE FULL WIDTH OF THE CURB RAMP AND 3' DEEP. GROOVED SURFACES ON OUTDOOR CURB RAMP ARE NOT PERMITTED. VERIFY LOCAL REQUIREMENTS WITH THE BUILDING DEPARTMENT. REFER TO TRUNCATED DOMES DETAIL AND REQUIREMENTS IN THE CALIFORNIA BUILDING CODE.
3. CURB RAMP SURFACES (FLARES AND RAMP) SHALL HAVE A DIFFERENT TEXTURE FROM THE SURROUNDING PAVEMENT.
4. CURB RAMP SHALL BE CLASS 520-C-2500 (310-C-17) CONFORMING TO SSPWC 201-1.1.2 AND SHALL BE 4" THICK.
5. INSTALL 1/4" EXPANSION JOINT FILLER MATERIAL BETWEEN A NEW CURB RAMP AND THE EXISTING SIDEWALKS.
6. TOOLED JOINT - PROVIDE 1" OF 1/4" DEEP GROOVES WITH 1/4" RADIUS EDGES AT THE LEVEL SURFACE AT THE TOP OF THE RAMP, GROVES SHALL NOT EXTEND TO BOTTOM CURB OR GUTTER.
7. WATER PONDING WITHIN THE CURB RAMP LIMITS IS NOT ALLOWED.
8. NO GRADE BREAK IS ALLOWED ALONG THE RAMP SURFACE.
9. CROSS SLOPE OF THE CURB RAMP SURFACE SHALL BE LESS THAN 2%.
10. TRANSITION CHANGE IN ELEVATION IS NOT TO EXCEED 1/2" WITHIN AN ACCESSIBLE ROUTE.

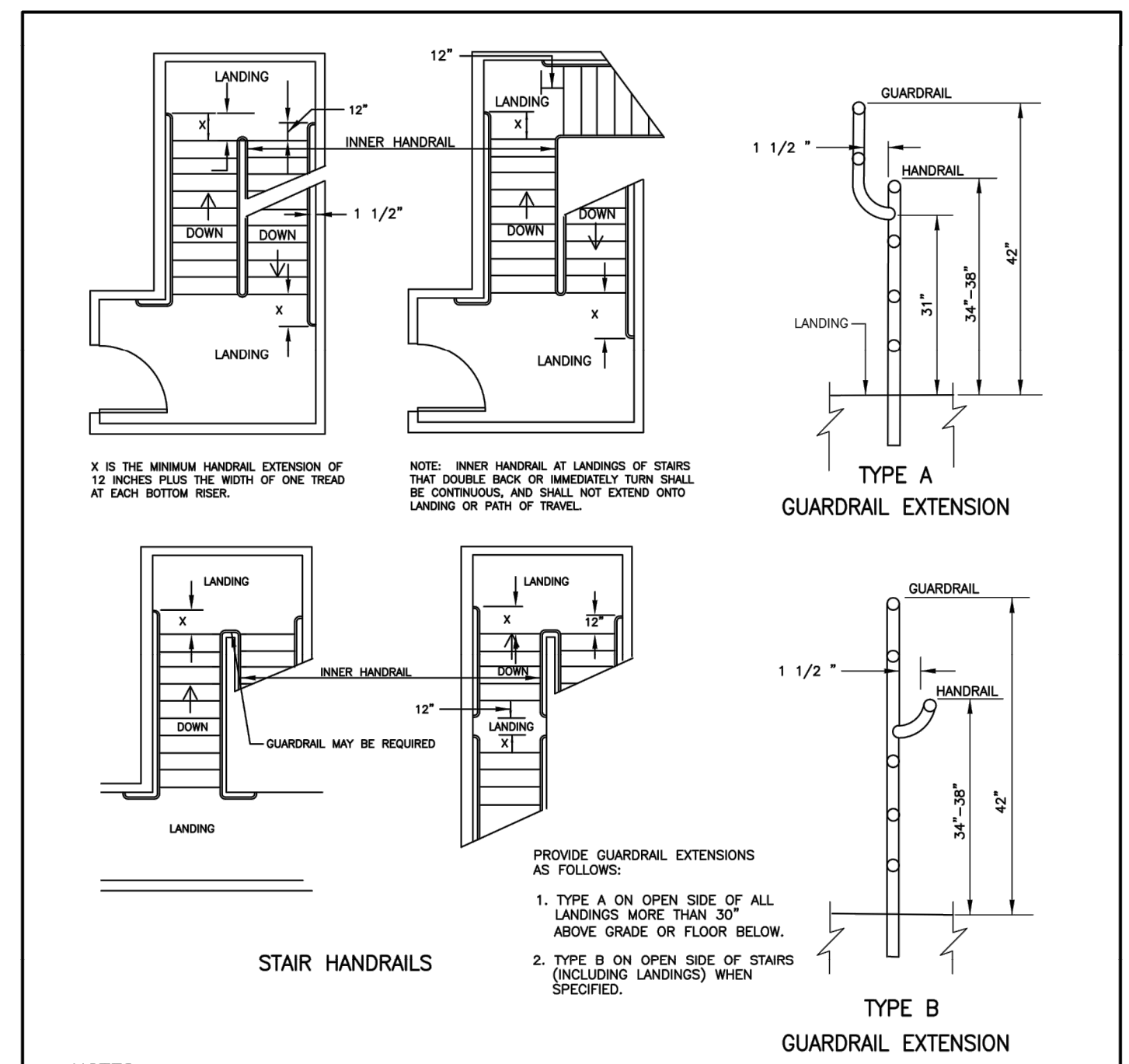
13 IN-LINE CURB RAMP DETAIL
NOT TO SCALE



Revision	By	Approved	Date	SAN DIEGO REGIONAL STANDARD DRAWING	RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARDS COMMITTEE
Updated	D. Gerschaffer		15-Dec		

**PEDESTRIAN PROTECTIVE RAILING
DETAILS NO. 1**

RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARDS COMMITTEE
12/11/2015
Chairperson R.C.E. 19246 Date
DRAWING NUMBER **M-24**



NOTES

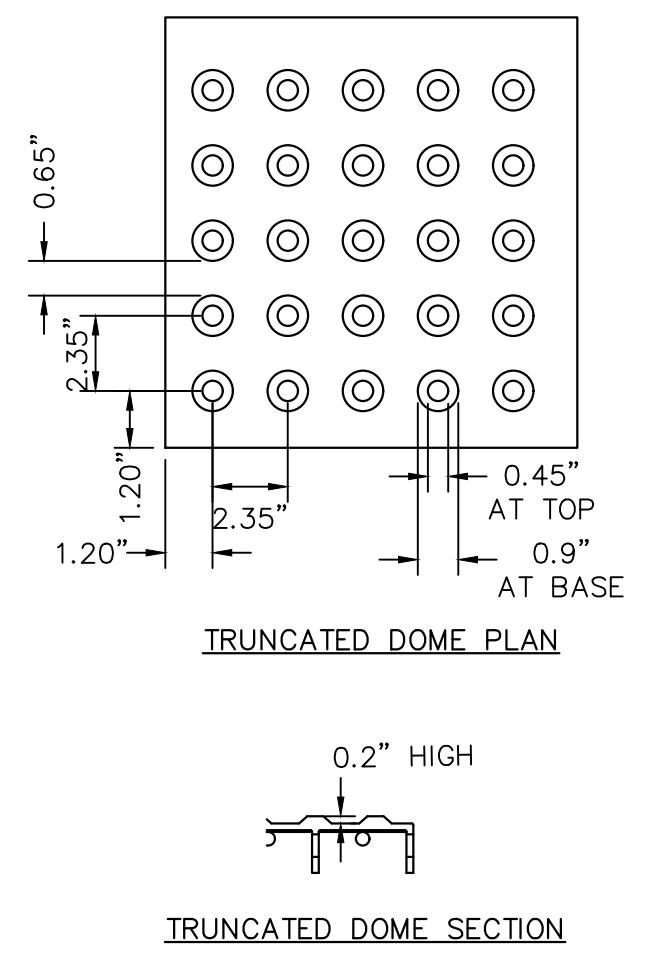
1. Post type guardrails, and handrails for stairs or landings 30" or less above grade or floor below shall have only one intermediate rail centered between the step nosing limit (or if specified the top of curb) and top of railing.
2. Post type guardrails, and handrails for stairs or landings more than 30" above grade or floor below shall have intermediate rails equally spaced such that a sphere 4" in diameter cannot pass through.
3. Where handrail extensions interfere with transverse walkways the horizontal portions shall not encroach but be turned away from stairs and parallel to walkway.
4. The top of guardrails for stairways, exclusive of their landings, may have a height as specified for handrails.

Revision	By	Approved	Date	SAN DIEGO REGIONAL STANDARD DRAWING	RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARDS COMMITTEE
Updated	D. Gerschaffer		15-Dec		

**PEDESTRIAN PROTECTIVE RAILING
DETAILS NO. 2**

RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARDS COMMITTEE
12/11/2015
Chairperson R.C.E. 19246 Date
DRAWING NUMBER **M-25**

12 RAMP HANDRAIL DETAIL
NOT TO SCALE



- NOTE:
1. CONTRACTOR TO REFERENCE MANUFACTURERS GUIDELINES FOR INSTALLATION OF TRUNCATED DOMES.
 2. THIS DETAIL TO BE USED WHERE LIMITED TO 3' DEEP.

14 TRUNCATED DOMES DETAIL
NOT TO SCALE

NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN EXPIRES:
THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

STORMWATER
INSPECTION PRIORITY HIGH W/DID NO. TBD

CITY of VISTA

ACCESSIBILITY NOTES & DETAILS FOR:

SPROUTS FARMERS MARKET

ADDRESS: NWC OF E. VISTA WAY & MONTE MAR RD

APPROVED

FOR CITY ENGINEER: 70128 9/30/20 RCE EXP. LIC. DATE

BENCH MARK: CV82-91, FOUND LEAD & CONCRETE NAIL AT BEGINNING CURB RETURN OF E VISTA WAY & FOOTHILL DRIVE. ELEVATION: 445.090. NAVD88.

SHEET 9 OF 17
GP18-032

Kimley-Horn

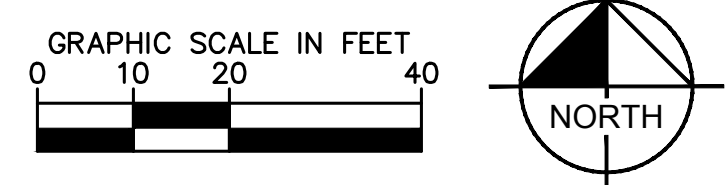
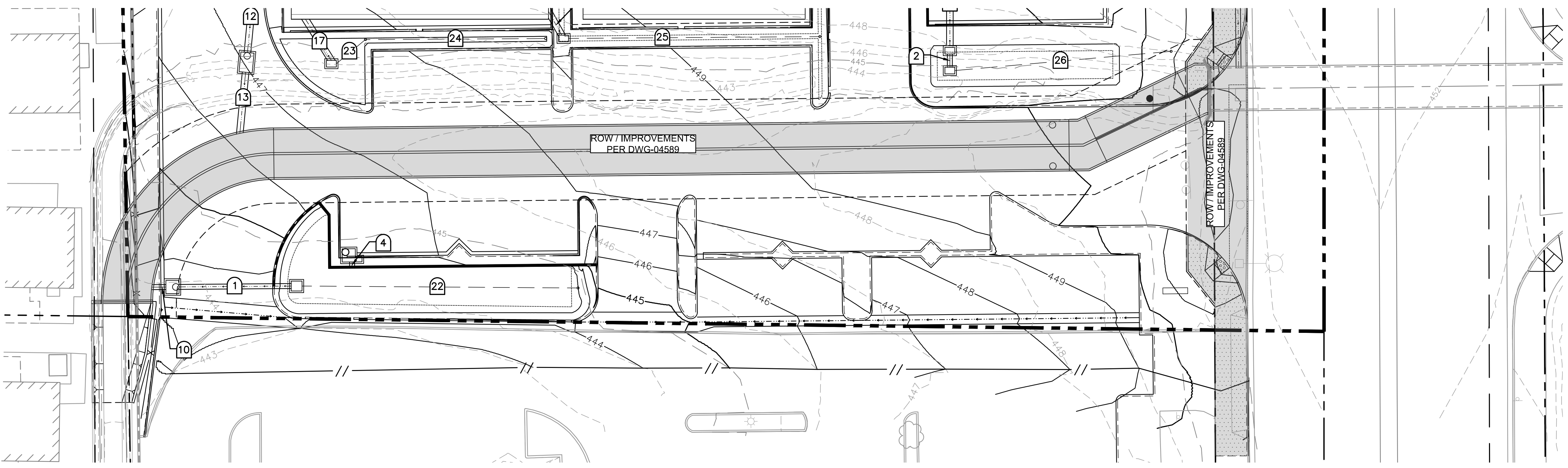
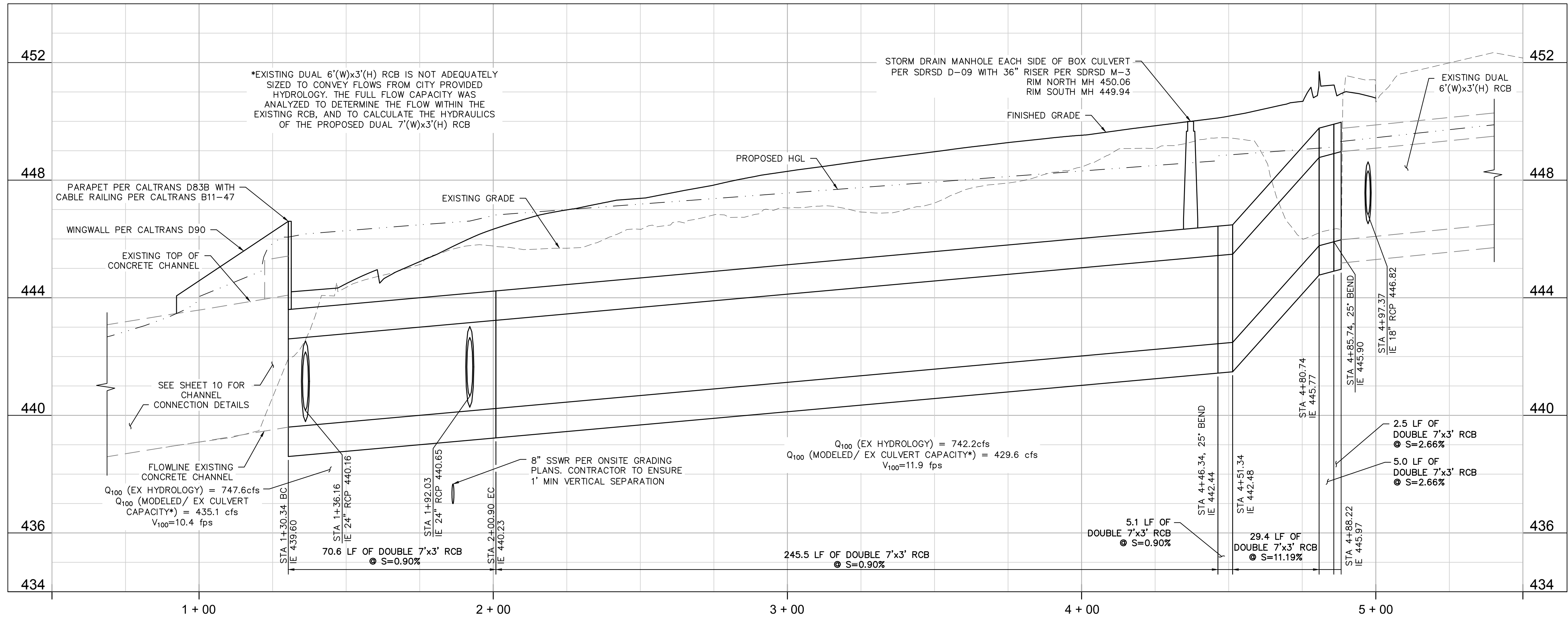
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67652 06/30/2019
ENGINEER OF WORK RCE EXP. LIC. DATE

NO.	DESCRIPTION	QTY	DATE	VID	DATE

APPROVED CHANGES





SITE DEVELOPMENT PLAN EXPIRES:
 THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

STORMWATER

INSPECTION PRIORITY HIGH W/DID NO. TBD

CITY of VISTA

STORM DRAIN PROFILE FOR:

SPROUTS FARMERS MARKET

ADDRESS: NWC OF E. VISTA WAY & MONTE MAR RD

APPROVED

FOR CITY ENGINEER 70128 9/30/20 SHEET 10 OF 17
 RCE EXP. LIC. DATE DATE

BENCH MARK: CV82-91, FOUND LEAD & CONCRETE NAIL AT BEGINNING CURB RETURN OF E VISTA WAY & FOOTHILL DRIVE. ELEVATION: 445.090. NAVD88.

GP18-032

APPROVED CHANGES				
NO.	DESCRIPTION	QTY	DATE	VID

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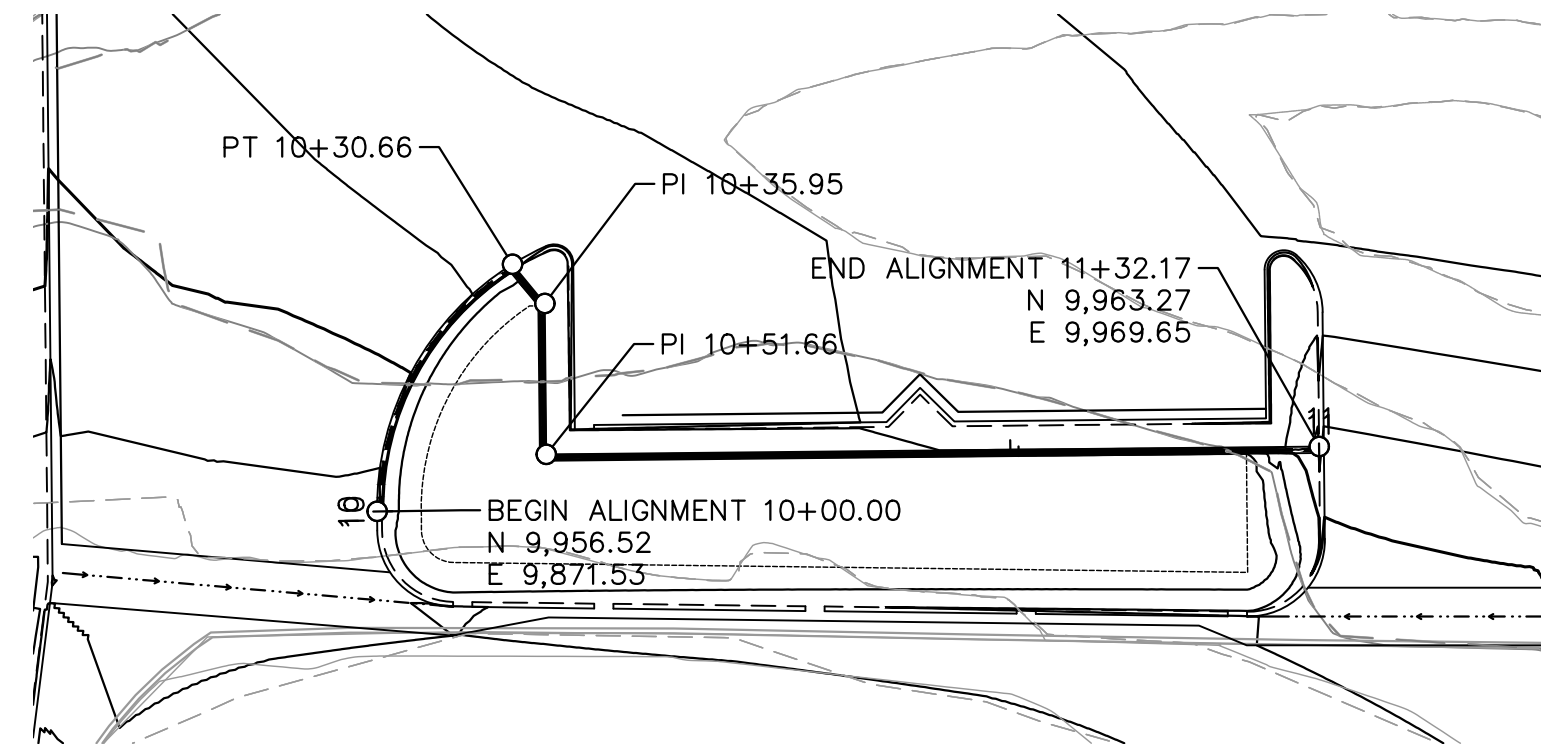
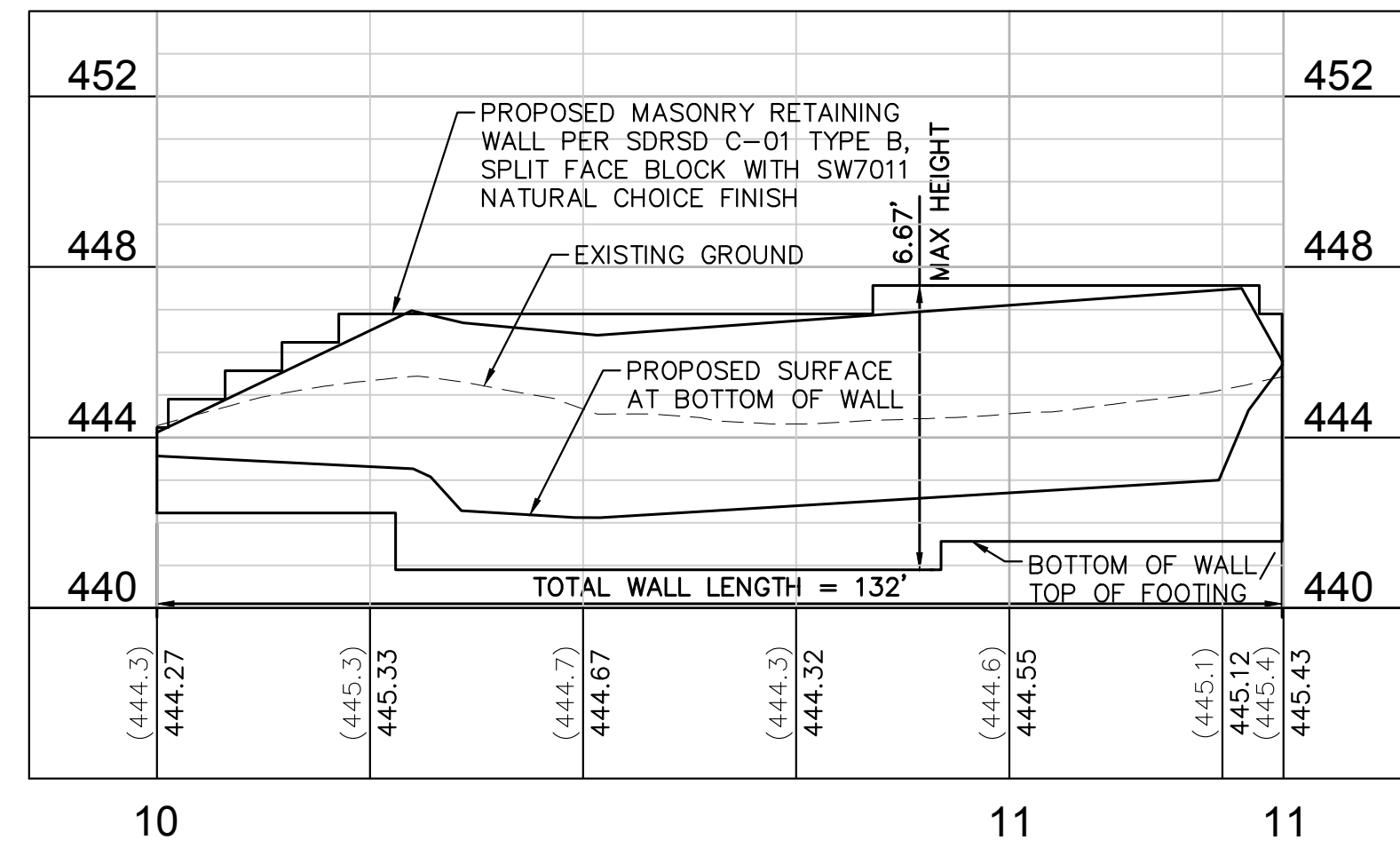
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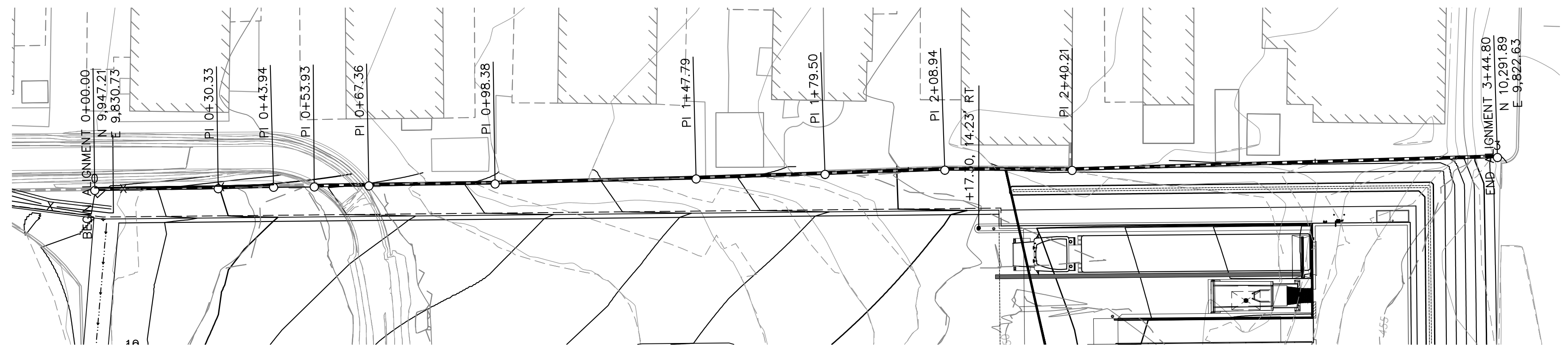
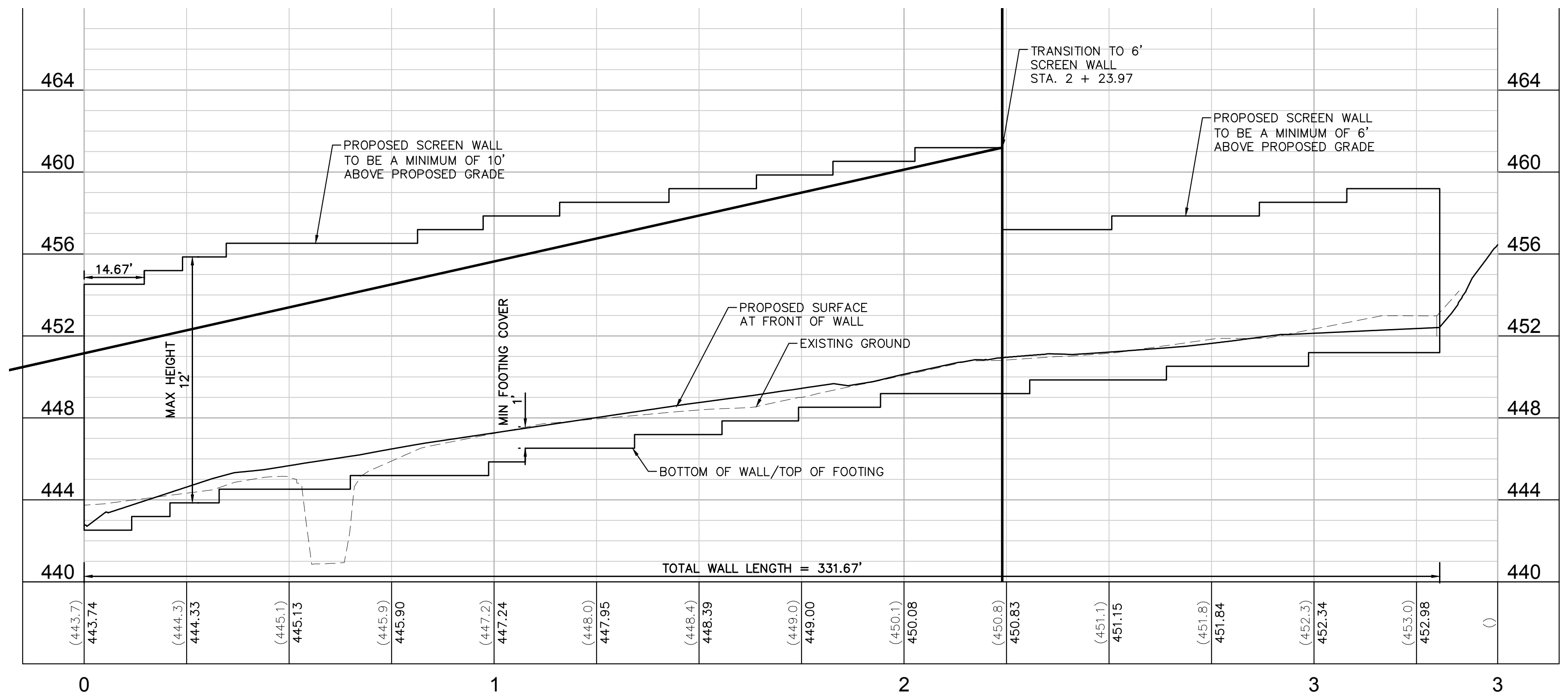
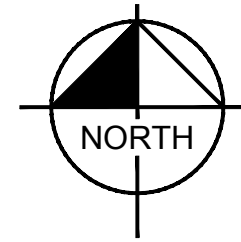
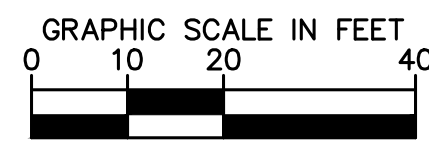


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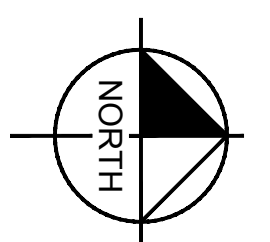
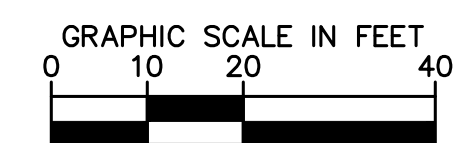
NOTE: SEPARATE PERMIT FOR WALLS



BMP RETAINING WALL PROFILE



WESTERN SCREEN WALL PROFILE



NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN EXPIRES:
THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

STORMWATER
INSPECTION PRIORITY HIGH WDD NO. TBD

CITY of VISTA

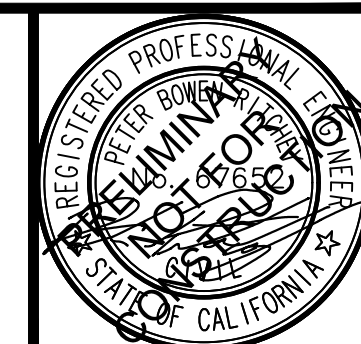
WALL PROFILES FOR:
SPROUTS FARMERS MARKET
ADDRESS: NWC OF E. VISTA WAY & MONTE MAR RD
APPROVED: 70128 9/30/20
FOR CITY ENGINEER RCE EXP. LIC. DATE DATE SHEET 11 OF 17
BENCH MARK: CV82-91, FOUND LEAD & CONCRETE NAIL AT BEGINNING CURB RETURN OF E VISTA WAY & FOOTHILL DRIVE. ELEVATION: 445.090. NAVD88. **GP18-032**

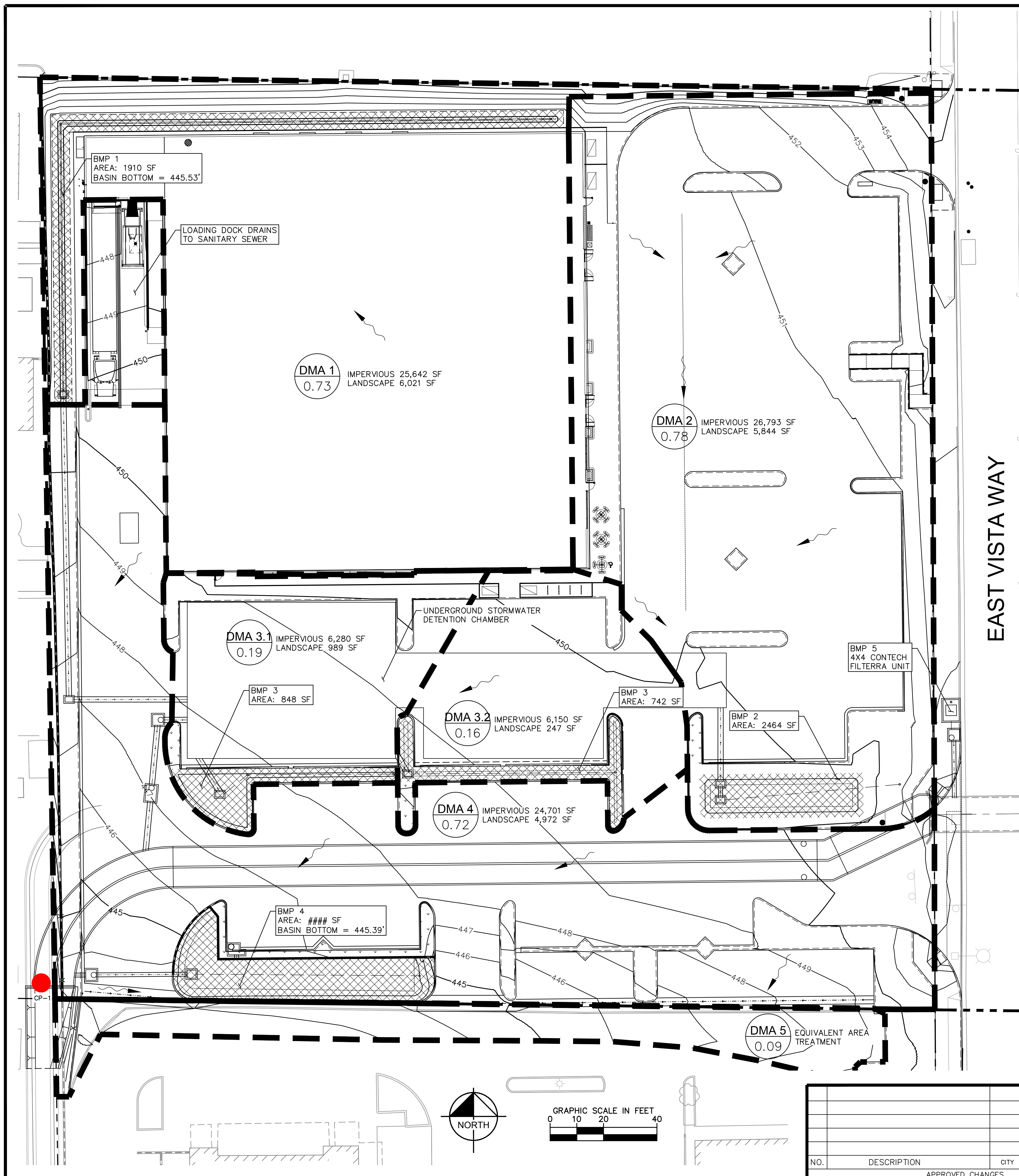
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67652 06/30/2019
ENGINEER OF WORK RCE EXP. LIC. DATE DATE

NO.	DESCRIPTION	CITY	DATE	VID	DATE

APPROVED CHANGES





STORM WATER QUALITY MANAGEMENT PLAN

TITLE - PDP SWQMP- VISTA SPROUTS
 DATE - NOVEMBER 16, 2018
 PREPARED BY - KIMLEY-HORN & ASSOCIATES, INC.

MAINTENANCE AGREEMENT DOCUMENT

TITLE - _____
 DATE OF RECORDATION - _____
 PREPARED BY - _____

OPERATIONS AND MAINTENANCE PLAN

TITLE - _____
 DATE - _____
 PREPARED BY - _____

RESPONSIBLE PARTY INFORMATION

ROBERT RIVANI
 BLACK LION INVESTMENT GROUP
 1180 SOUTH BEVERLY DRIVE
 SUITE #700
 LOS ANGELES, CA 90035
 (424) 284-7784

GENERAL INFORMATION

RECEIVING WATERS - BUENA VISTA CREEK, BUENA VISTA LAGOON
 POLLUTANTS OF CONCERN - SEDIMENT, NUTRIENTS, BACTERIA & VIRUSES

SITE DESIGN BMPS

- SD-1: MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES
- SD-2: CONSERVE NATURAL AREAS, SOILS, AND VEGETATION
- SD-3: MINIMIZE IMPERVIOUS AREA
- SD-4: MINIMIZE SOIL COMPACTION
- SD-5: DISPERSE IMPERVIOUS AREAS
- SD-7: LANDSCAPE WITH NATIVE OR DROUGHT TOLERANT SPECIES

SOURCE CONTROL BMPS

- SC-1: PREVENT ILLICIT DISCHARGES INTO THE STORM DRAIN SYSTEM
- SC-2: IDENTIFY THE STORM DRAIN SYSTEM USING STENCILING OR SIGNAGE
- SC-5: PROTECT TRASH STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL
- SC-6: USE ANY ADDITIONAL BMP'S DETERMINED TO BE NECESSARY BY THE CITY TO MINIMIZE POLLUTANT GENERATION AT EACH PROJECT SITE

LEGEND

- PROPERTY LINE
- - - - - PROPOSED CONTOUR
- EXISTING CONTOUR
- ROADWAY CENTER LINE
- - - - - DMA BOUNDARY
- PROPOSED STORM DRAIN
- DIRECTION OF FLOW
- [Hatched Box] BIOFILTRATION AREA
- (DMA 2 X.XX) DMA NAME
- (X.XX) DMA AREA (IN ACRES)
- (Red Dot) HYDROMODIFICATION MANAGEMENT CONFLUENCE POINT

NOTES

- UNDERLYING HYDROLOGIC SOIL GROUP: C
- APPROXIMATE DEPTH TO GROUNDWATER: 5' - 10'

ARCHITECT NOTE:

"MY ARCHITECT'S SEAL AND SIGNATURE IS TO VERIFY THAT BRR ARCHITECTURE HAS REVIEWED THIS PLAN PREPARED BY THE CIVIL ENGINEER AND HAS COORDINATED THE SCHEMATIC DESIGN OF THE BUILDING ARCHITECTURE ACCORDINGLY, INCLUDING ROOF DRAIN DOWNSPOUT LOCATIONS."

SIGNATURE _____

LANDSCAPE NOTE:

"I HAVE REVIEWED THE BIORETENTION BASIN LOCATIONS SHOWN ON THE CIVIL PLAN AND CONFIRM THAT THE CONCEPT LANDSCAPE PLANS ARE COORDINATED AND APPROPRIATE PLANTING AND IRRIGATION WILL BE DESIGNED IN THOSE BIORETENTION BASINS."

SIGNATURE _____

GEOTECHNICAL NOTE:

"I HAVE REVIEWED THE SOIL AND GEOLOGIC CONDITIONS FOR THIS PROJECT AND CONFIRM THE SELECTED POST CONSTRUCTION BMP'S HAVE BEEN DISCUSSED, COORDINATED AND JUSTIFIED AS REQUIRED BY THE COV BMP DESIGN MANUAL."

SIGNATURE _____

ENGINEER'S NOTE

I HAVE REVIEWED THIS PROJECT AND THE SELECTED POST CONSTRUCTION BMP'S FULLY COMPLY WITH THE REQUIREMENTS OF THE COV BMP DESIGN MANUAL AND REGIONAL BOARD ORDER R9-2015-001

SIGNATURE _____

DMA	DMA TYPE	DMA AREA	BMP TYPE	SURFACE AREA
1	DRAIN TO BMP	31,663 S.F.	BIOFILTRATION 1	1,910 S.F.
2	DRAIN TO BMP	33,798 S.F.	BIOFILTRATION 2	1,000 S.F.
3.1	DRAIN TO BMP	8,117 S.F.	BIOFILTRATION 3.1	848 S.F.
3.2	DRAIN TO BMP	7,139 S.F.	BIOFILTRATION 3.2	742 S.F.
4	DRAIN TO BMP	31,387 S.F.	BIOFILTRATION 4	1,714 S.F.
5	EQUIVALENT AREA TREATMENT	3,920 S.F.	PROPRIETARY TREATMENT	4X4 CONTECH FILTERRA

BMP TABLE

BMP ID #	BMP TYPE	SYMBOL	QUANTITY	DETAIL PLAN SET SHEET NO.	DETAIL NO.	HORIZONTAL DATUM: NAD83		CONSTRUCTION CONFIRMATION
						NORTHING	EASTING	
1	ROOF DRAIN TO LANDSCAPING	●	4	ARCH - A6.4	17,18,19,20	INSERT NORTHING	INSERT EASTING	
2	BIOFILTRATION AREA	[Hatched Box]	5	SHEET 9	1	INSERT NORTHING	INSERT EASTING	
5	TRASH ENCLOSURE	[Grid Box]	1	ARCH - SD1.1	--	INSERT NORTHING	INSERT EASTING	

BMP NOTES:

- THESE BMPS ARE MANDATORY TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS OR THESE PLANS.
- NO CHANGES TO THE PROPOSED BMPS ON THIS SHEET WITHOUT PRIOR APPROVAL FROM THE ENGINEERING DEPARTMENT.
- NO SUBSTITUTIONS TO THE MATERIAL TYPES OR PLANTING TYPES WITHOUT PRIOR APPROVAL FROM THE LAND DEVELOPMENT ENGINEER.
- NO OCCUPANCY WILL BE GRANTED UNTIL THE CITY INSPECTION STAFF HAS INSPECTED THIS PROJECT FOR APPROPRIATE BMP CONSTRUCTION AND INSTALLATION.

SITE DEVELOPMENT PLAN EXPIRES:
 THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

STORMWATER	
INSPECTION PRIORITY	HIGH
WDID NO.	TBD

NOT FOR CONSTRUCTION

Kimley-Horn

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67652 06/30/2019

ENGINEER OF WORK RCE EXP.LIC.DATE DATE

CITY of VISTA

BMP PLAN FOR:

SPROUTS FARMERS MARKET

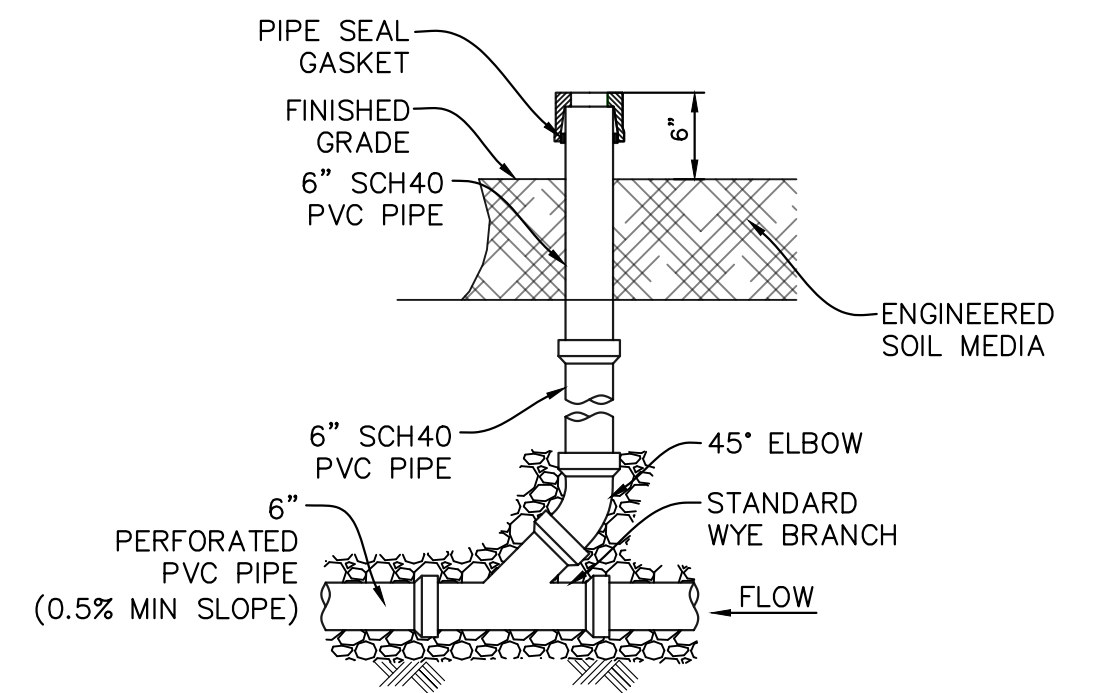
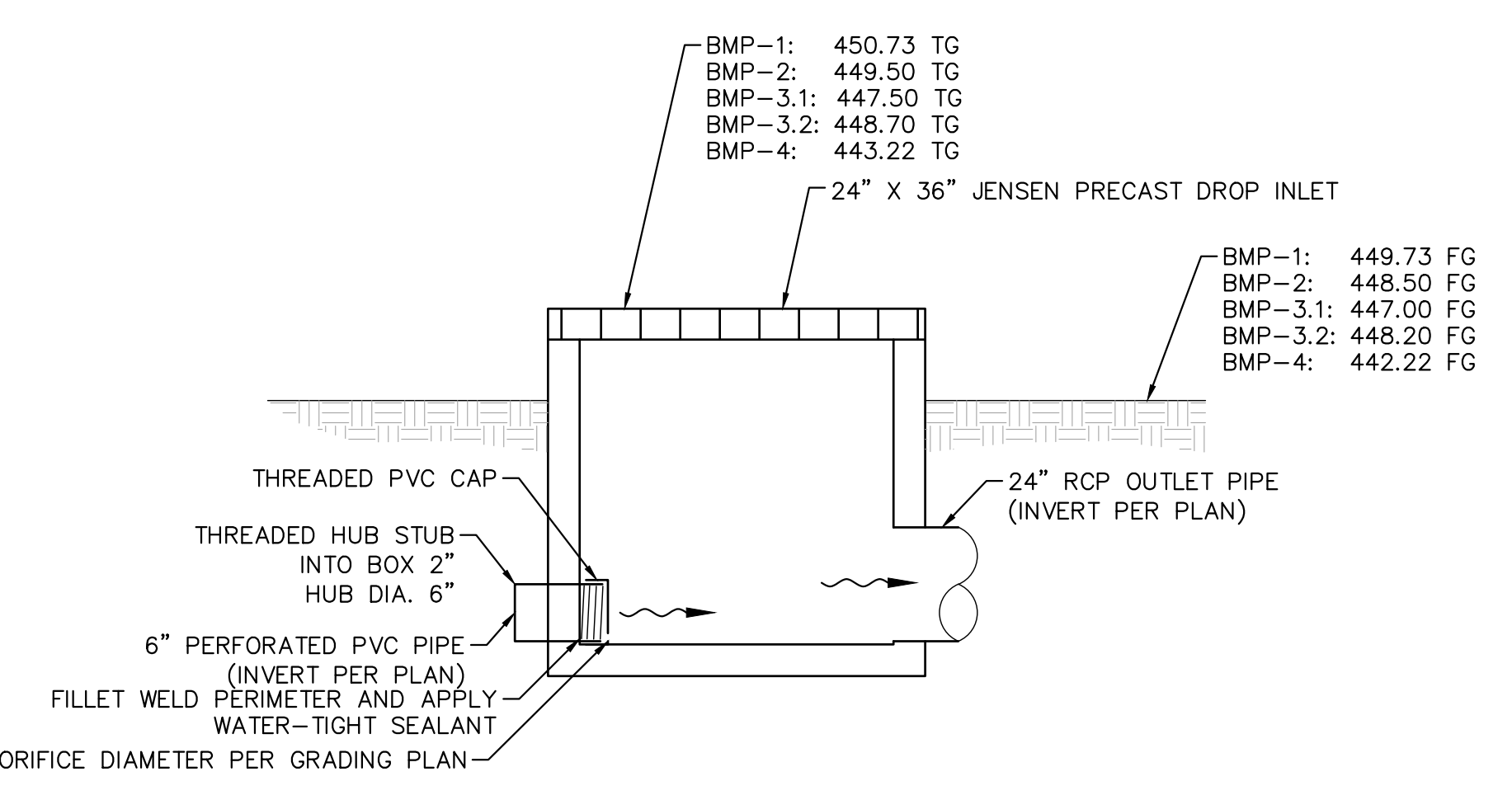
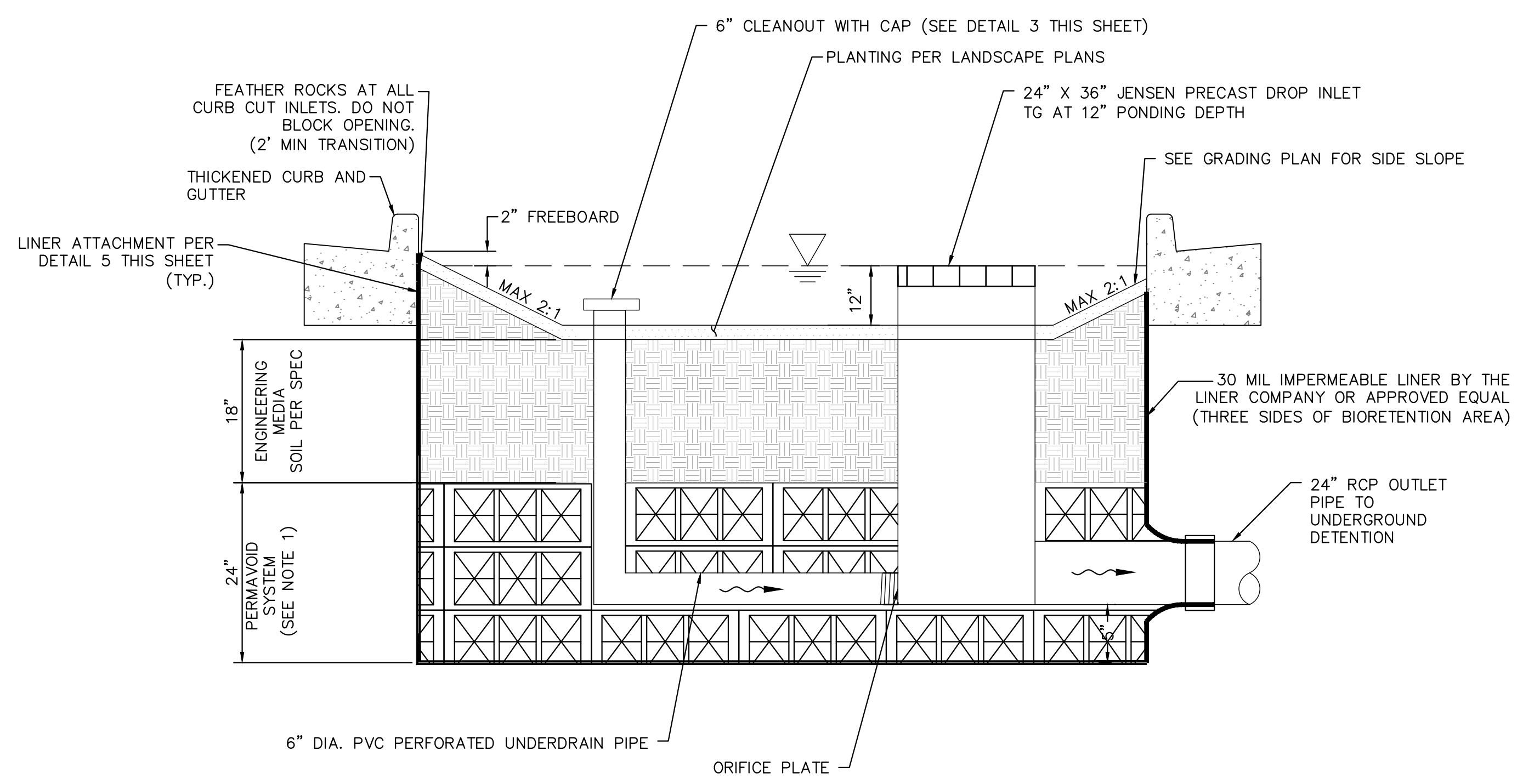
ADDRESS: NWC OF E. VISTA WAY & MONTE MAR RD

APPROVED _____

FOR CITY ENGINEER _____ 70128 9/30/20 RCE EXP. LIC. DATE DATE SHEET 12 OF 17

BENCH MARK: CV82-91, FOUND LEAD & CONCRETE NAIL AT BEGINNING CURB RETURN OF E VISTA WAY & FOOTHILL DRIVE. ELEVATION: 445.090. NAVD88.

GP18-032



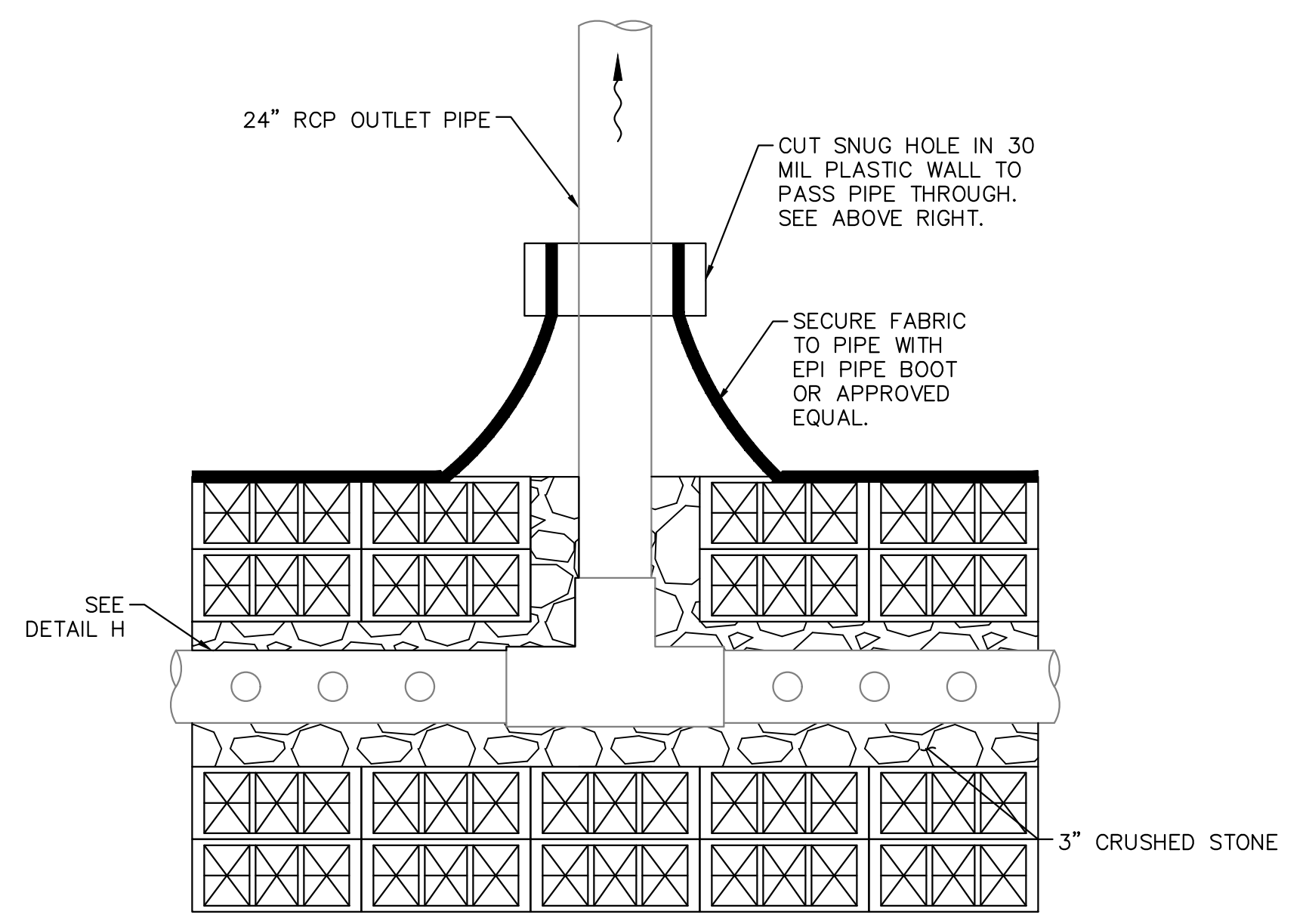
NOTES:
 1. MINIMUM OPENING SIZE IN GRATE SHALL BE 1-1/4". GRATE SIZE SHALL MATCH THAT OF THE ASSOCIATED RISER (PER THE DESIGN PLANS). GRATE SHALL FIT SNUG, AND BE REMOVABLE FOR MAINTENANCE PURPOSES.

2 BIOFILTRATION OVERFLOW STRUCTURE
 N.T.S.

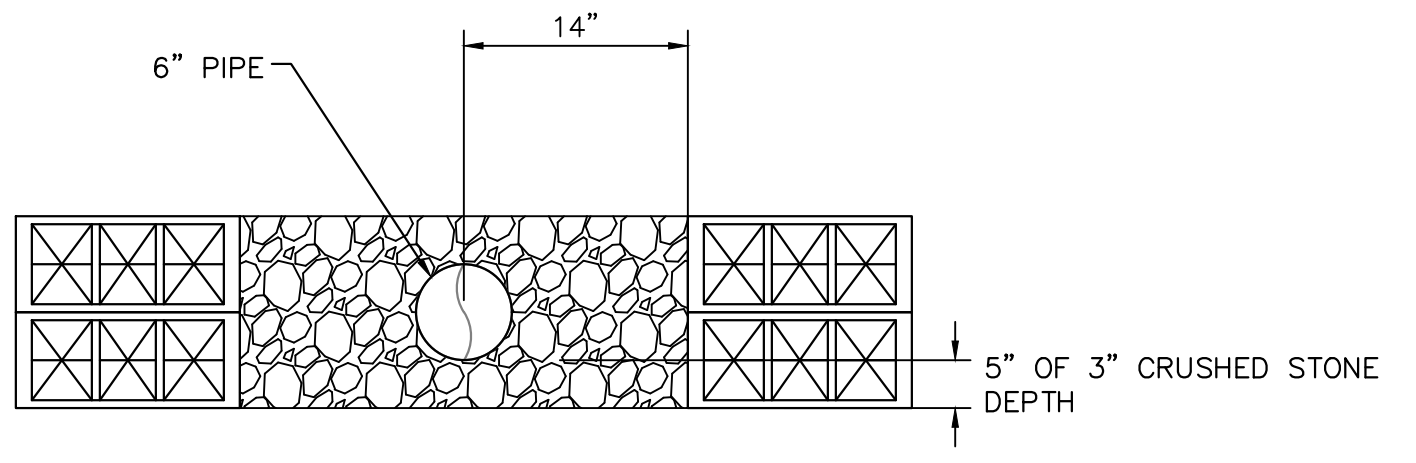
3 BIOFILTRATION CLEANOUT
 N.T.S.

NOTES:
 1. INSTALL PERMAVOID SYSTEM OR APPROVED EQUAL (95% POROSITY). BMP 1 AND BMP-4 PERMAVOID DEPTH WILL BE 12", NOT 24".
 2. UNDERDRAIN CLEANOUTS WITH CAP TO BE INSTALLED AT BIOFILTRATION SYSTEMS AS SHOWN PER PLAN.
 3. REFER TO GRADING AND DRAINAGE PLANS FOR BIOFILTRATION DIMENSION

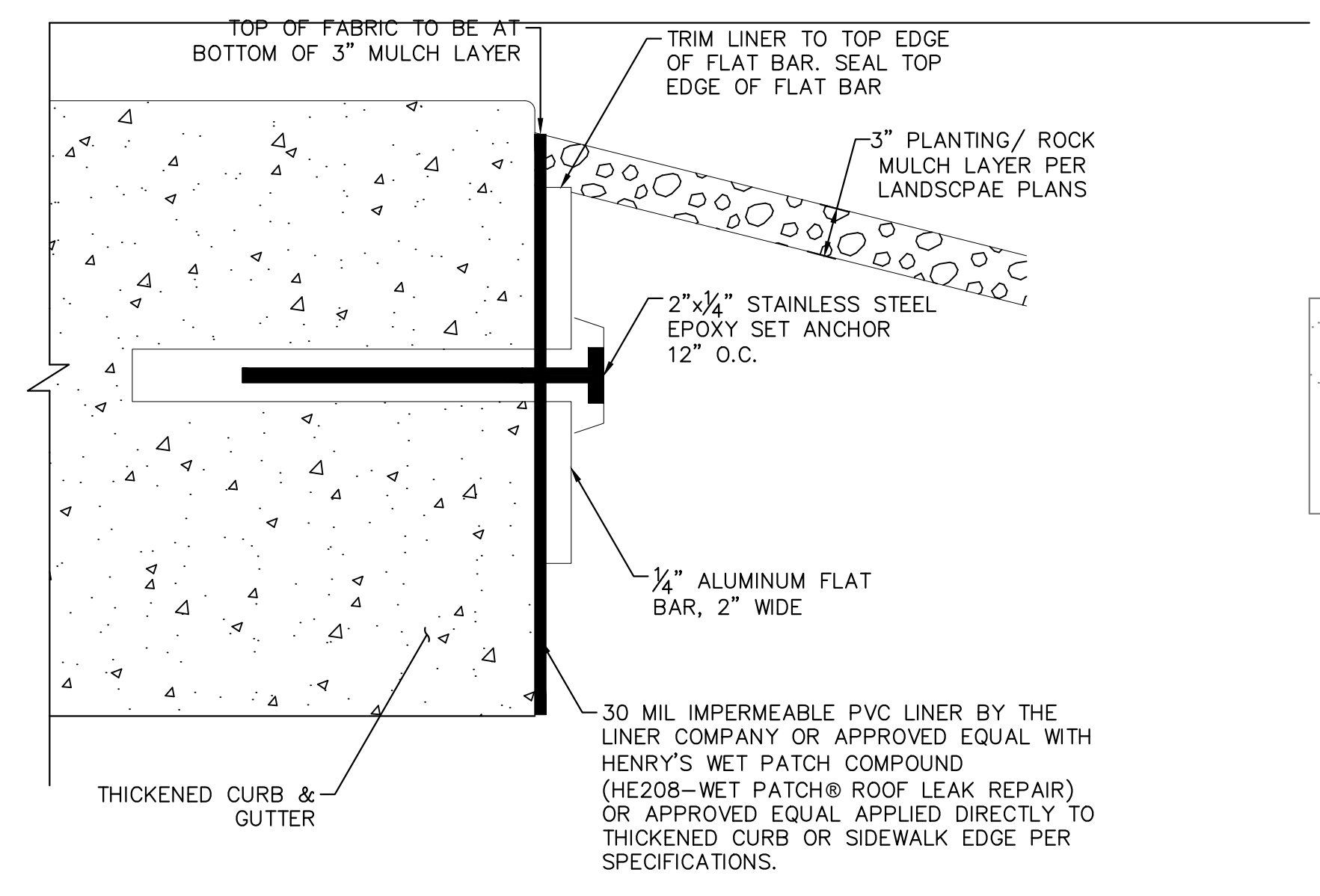
1 BIOFILTRATION WITH UNDERDRAIN CROSS SECTION
 N.T.S.



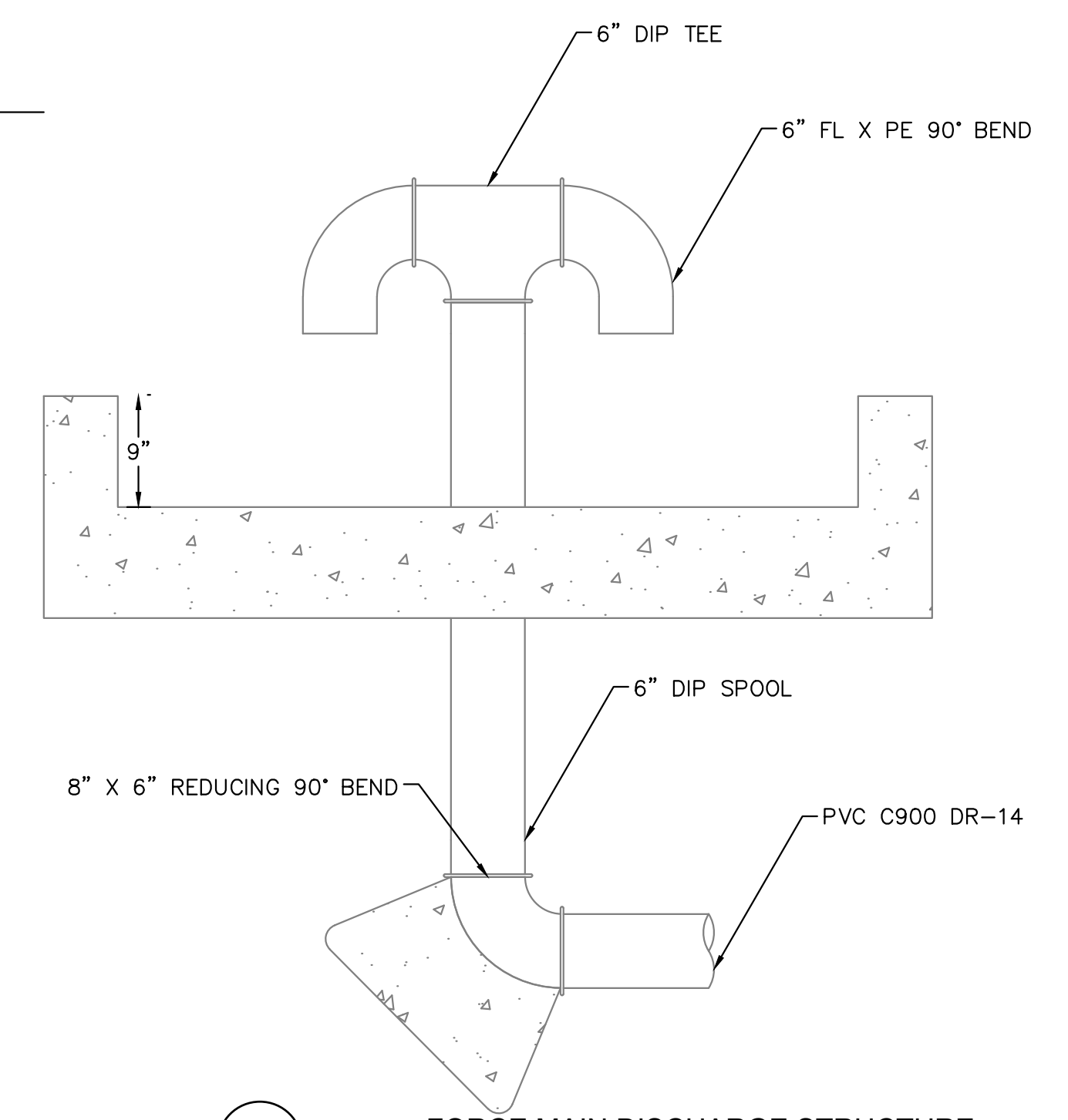
4 12" PIPE OUTLET
 N.T.S.



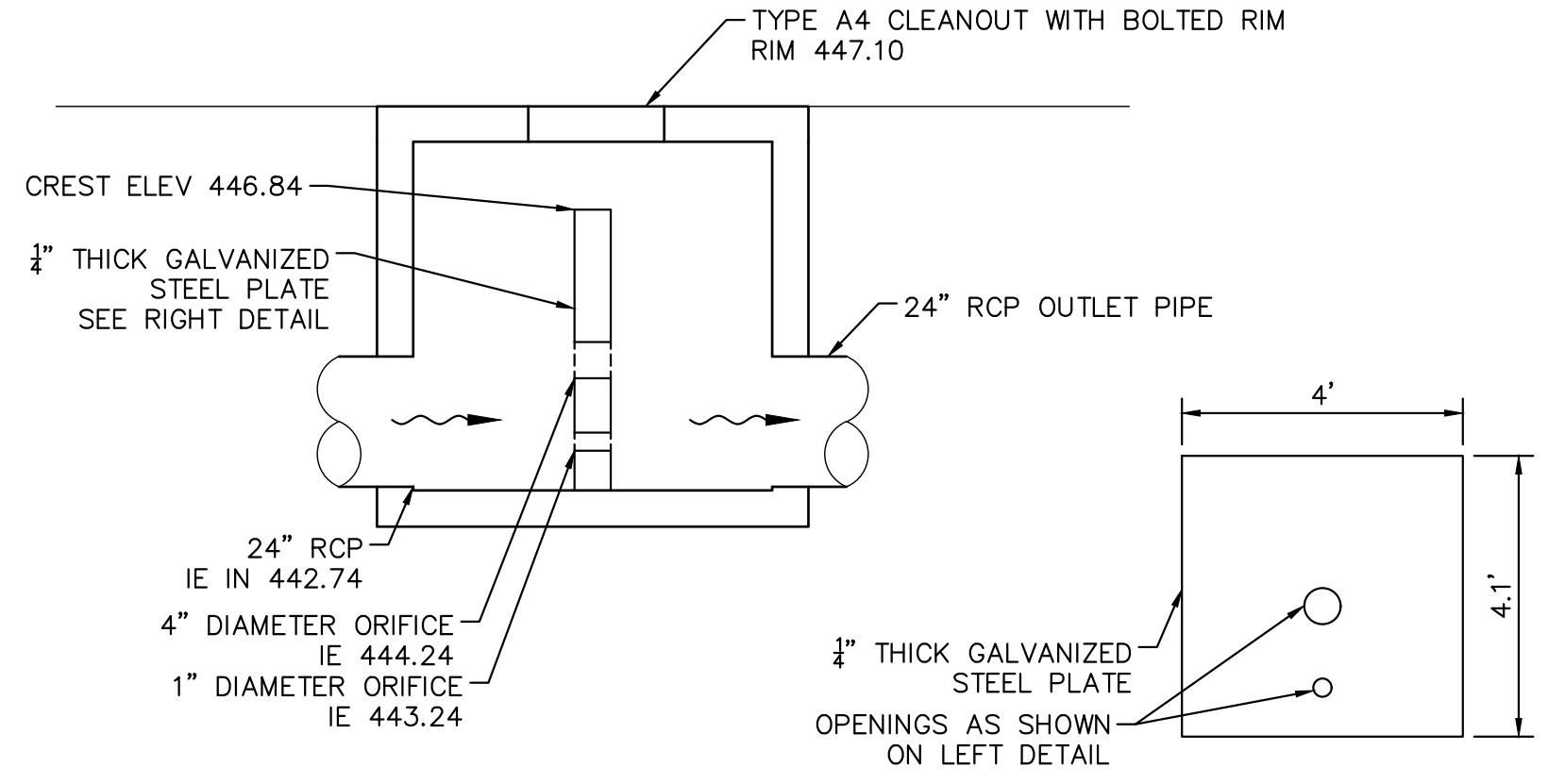
7 PERMAVOID PIPE PLACEMENT
 N.T.S.



5 LINER ATTACHMENT
 N.T.S.



6 FORCE MAIN DISCHARGE STRUCTURE
 N.T.S.



8 TYPE A4 CLEANOUT WITH FLOW CONTROL
 N.T.S.

SITE DEVELOPMENT PLAN EXPIRES:
 THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL
 STORMWATER
 INSPECTION PRIORITY HIGH WDD NO. TBD

CITY of VISTA

BMP DETAILS FOR:

 ADDRESS: NWC OF E. VISTA WAY & MONTE MAR RD

APPROVED
 FOR CITY ENGINEER 70128 9/30/20 RCE EXP. LIC. DATE DATE SHEET 13 OF 17
 BENCH MARK: CV82-91, FOUND LEAD & CONCRETE NAIL AT BEGINNING CURB RETURN OF E VISTA WAY & FOOTHILL DRIVE. ELEVATION: 445.090. NAVD88. GP18-032

NO.	DESCRIPTION	QTY	DATE	VID	DATE

Kimley»Horn

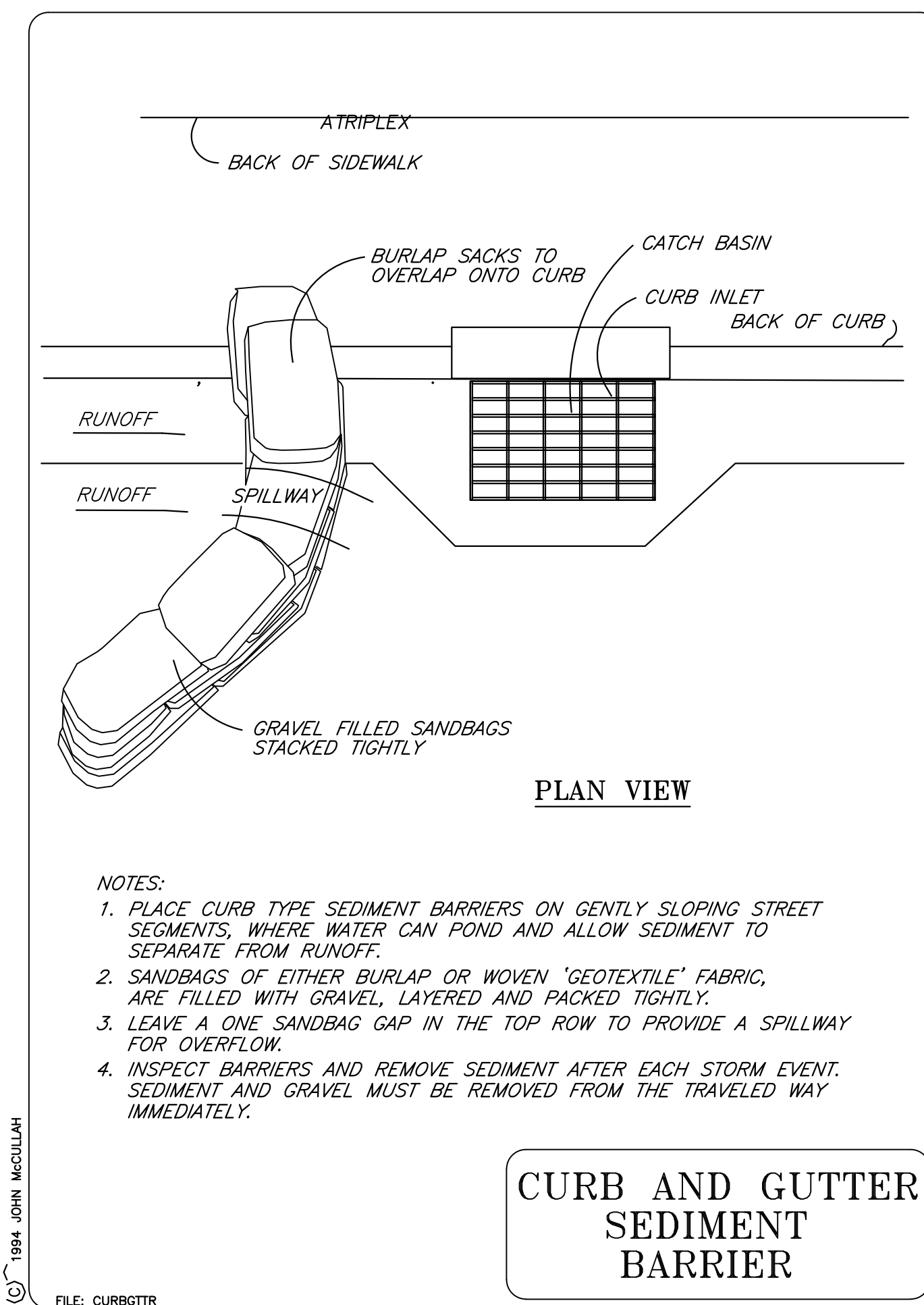
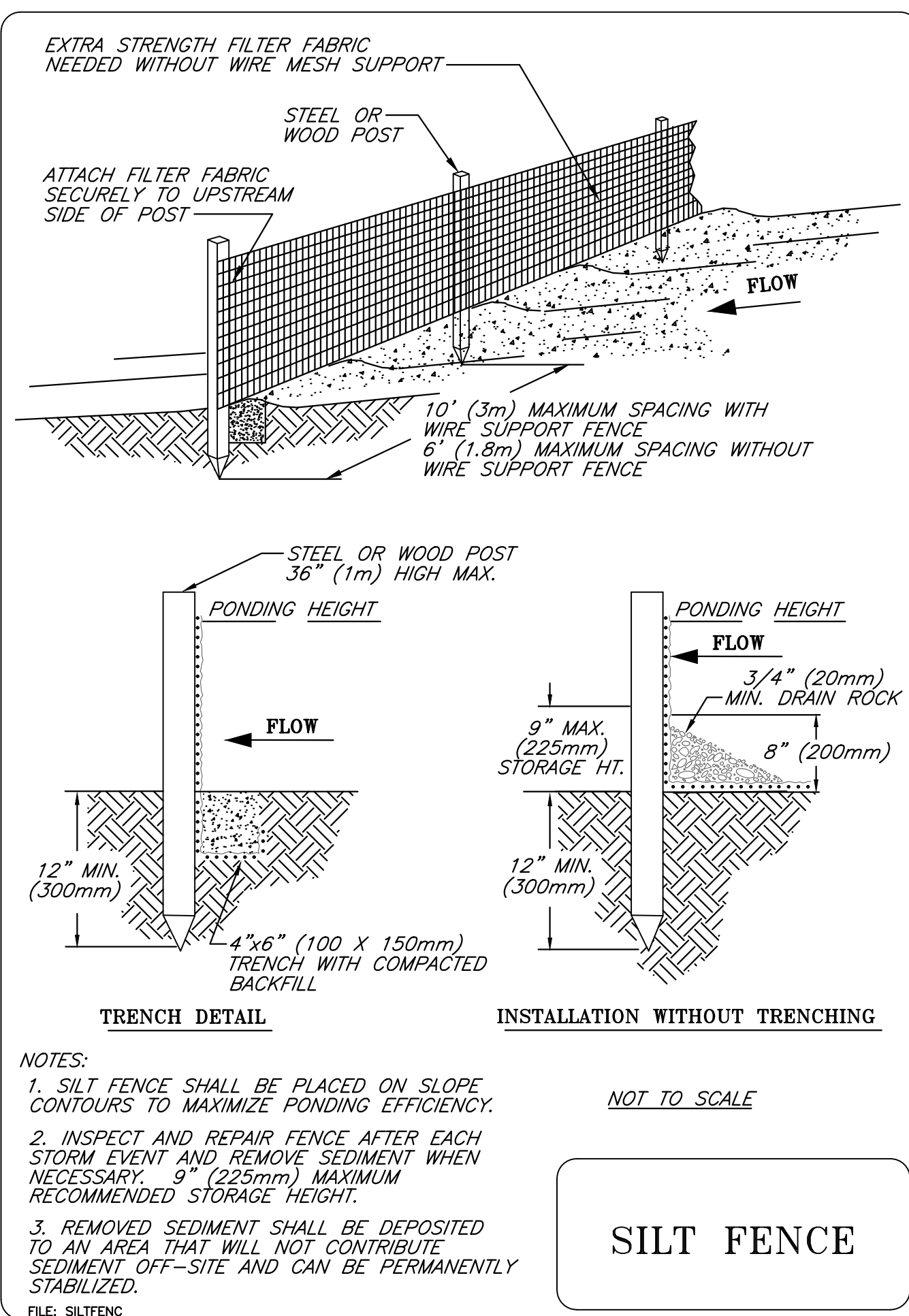
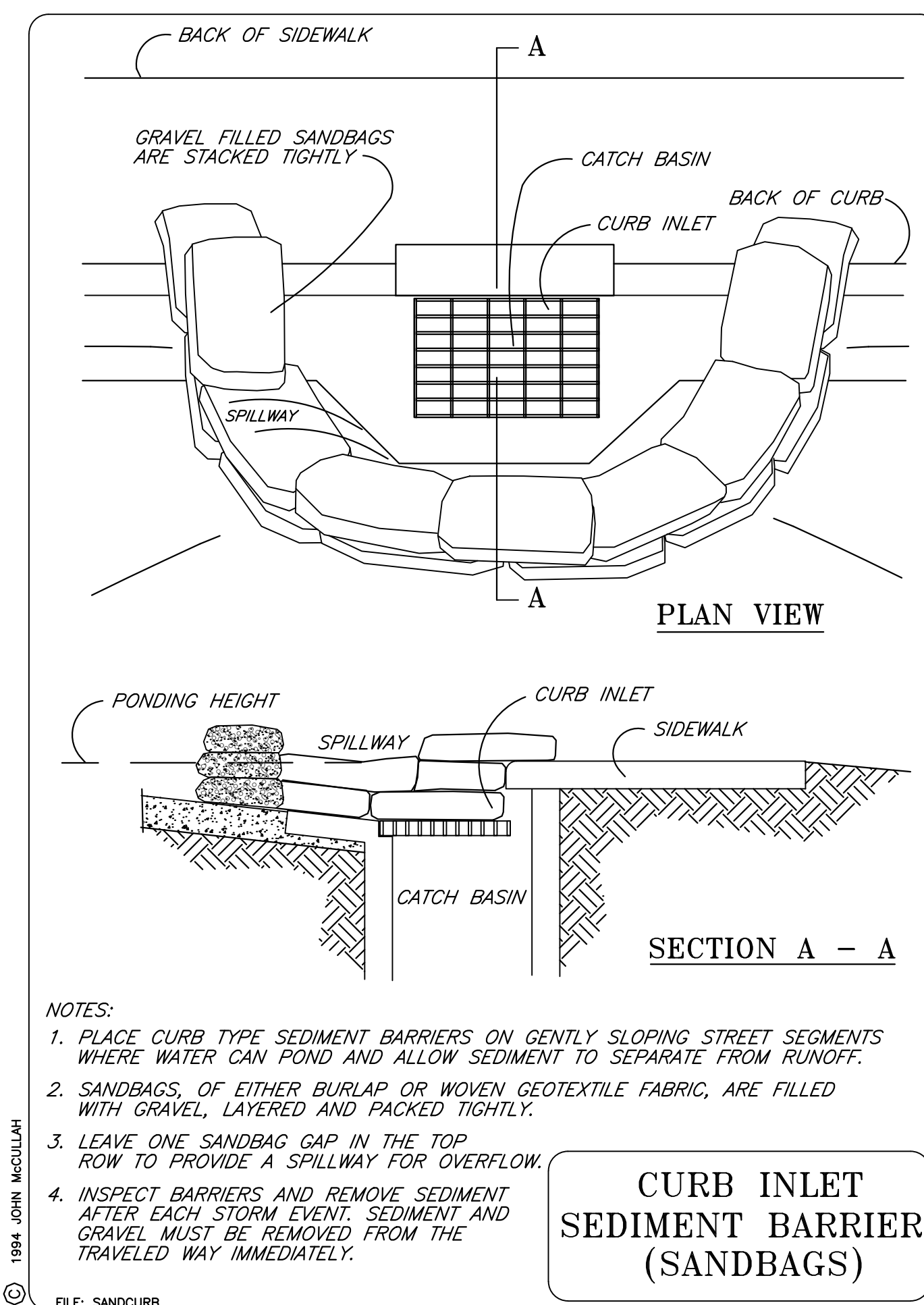
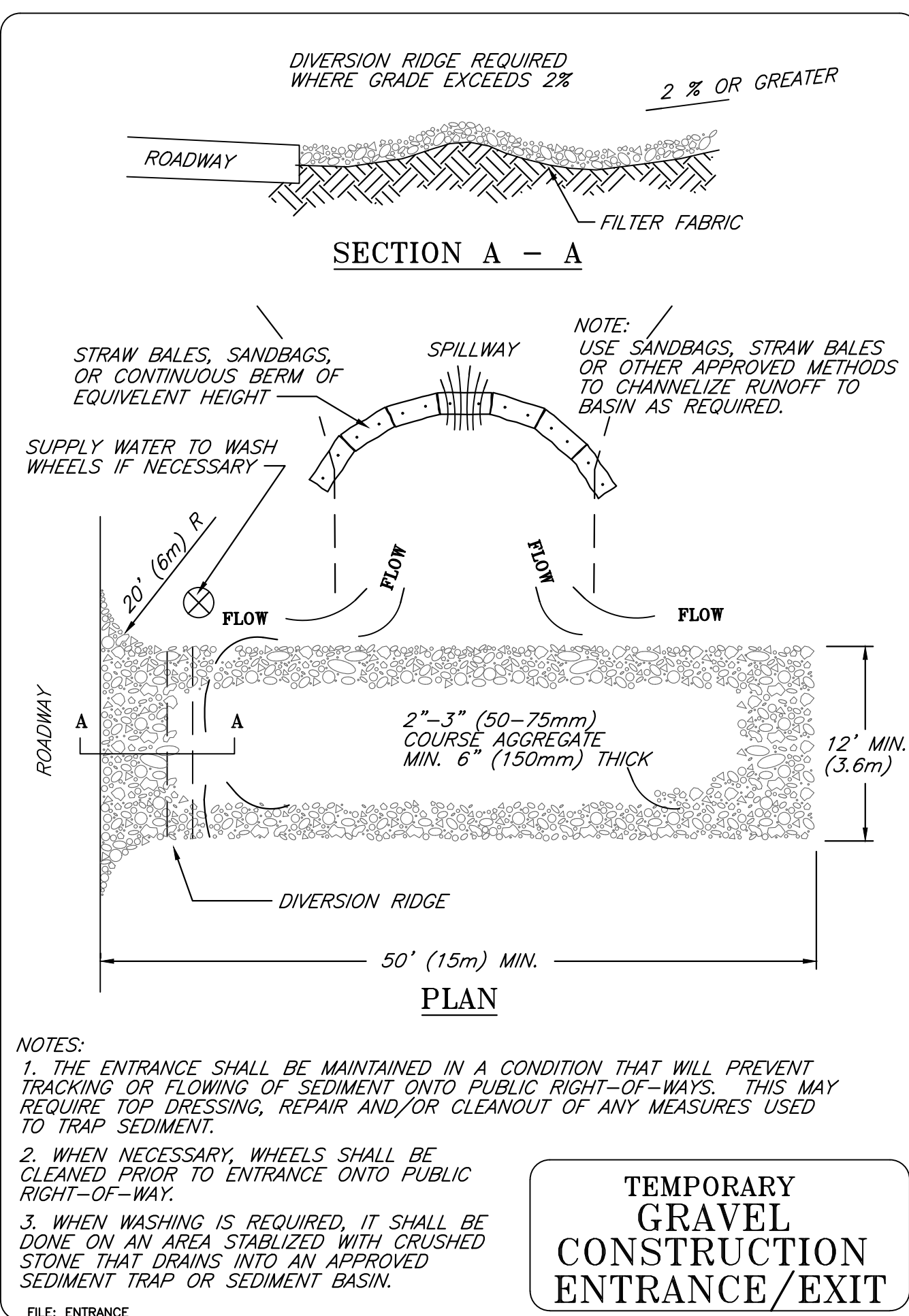
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67652 06/30/2019
 ENGINEER OF WORK RCE EXP. LIC. DATE DATE



NOT FOR CONSTRUCTION

EROSION CONTROL DETAILS



EROSION CONTROL NOTES

- STORM WATER AND EROSION CONTROL NOTES
- TOTAL AREA OF LAND DISTURBANCE = 2.89 ACRES
 - THIS PROJECT IS SUBJECT TO ALL APPLICABLE GENERAL AND PROJECT SPECIFIC PROHIBITIONS AND REQUIREMENTS IN CHAPTERS 13.18 AND 17.56 OF THE VISTA MUNICIPAL CODE, AND THE CITY STORMWATER STANDARDS MANUAL.
 - BMPs AT MANNED FACILITIES MUST BE INSPECTED BY THE EROSION CONTROL CONTRACTOR BEFORE AND FOLLOWING PREDICTED RAIN EVENTS. BMPs AT UNMANNED FACILITIES MUST BE INSPECTED BY THE DISCHARGER REGULARLY DURING THE RAINY SEASON AND PERIODICALLY BETWEEN EACH RAINY SEASON. THESE BMPs MUST BE MAINTAINED SO THAT THEY CONTINUE TO FUNCTION AS DESIGNED. BMPs WHICH FAIL MUST BE REPAIRED AS SOON AS IT IS SAFE TO DO SO. IF THE FAILURE OF A BMP INDICATES THAT THE BMPs IN USE ARE INAPPROPRIATE OR INADEQUATE TO THE CIRCUMSTANCES, THE BMPs MUST BE MODIFIED OR UPGRADED TO PREVENT ANY FURTHER FAILURE IN THE SAME OR SIMILAR CIRCUMSTANCES.
 - IN THE EVENT OF FAILURE OR REFUSAL TO PROPERLY MAINTAIN SAID DEVICES, THE CITY ENGINEER MAY CAUSE EMERGENCY MAINTENANCE WORK TO BE DONE TO PROTECT ADJACENT PRIVATE AND PUBLIC PROPERTY, THE COST OF WHICH (INCLUDING AN INITIAL MOBILIZATION AMOUNT) SHALL BE CHARGED TO THE OWNER.
 - SEDIMENTATION BASINS MAY NOT BE REMOVED OR MADE INOPERATIVE WITHOUT PRIOR APPROVAL OF THE CITY ENGINEER.
 - TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE EROSION CONTROL PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS THE WORK PROGRESSES AS RECOMMENDED BY THE ENGINEER OF WORK AND AS APPROVED BY THE CITY ENGINEER.
 - ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS, AND PERIODICALLY THEREAFTER, AS DIRECTED BY THE INSPECTOR.
 - A 12-INCH HIGH BY 4-FOOT WIDE BERM SHALL BE MAINTAINED ALONG THE TOP OF SLOPE OF THOSE FILLS ON WHICH GRADING IS NOT IN PROGRESS. CONCENTRATED WATER SHALL NOT BE CARRIED WITHIN 10 FEET FROM THE TOP OF SLOPES.
 - STAND-BY CREWS SHALL BE ALERTED BY THE CONTRACTOR, PERMITTEE, OR OWNER FOR EMERGENCY WORK DURING RAINSTORMS.
 - ALL UTILITY TRENCHES SHALL BE BACKFILLED WITHIN 24 HOURS AND MUST BE BACKFILLED BEFORE THE END OF THE WORK DAY IF A 40% CHANCE OF RAIN IS PREDICTED.
 - ALL BUILDING PADS SHALL BE SLOPED TOWARDS THE DRIVEWAY AND VELOCITY CHECK DAMS PROVIDED AT THE BASE OF ALL DRIVEWAYS DRAINING INTO THE STREET. VELOCITY CHECK DAMS SHALL BE PROVIDED ACROSS THE OUTLETS OF ALL LOTS DRAINING ONTO THE STREET.
 - PROVIDE VELOCITY CHECK DAMS IN ALL STREET AREAS, PAVED OR UNPAVED, AT THE INTERVALS INDICATED BELOW. VELOCITY CHECK DAMS MAY BE CONSTRUCTED OF GRAVEL BAGS, TIMBER, OR OTHER EROSION RESISTANT MATERIALS APPROVED BY THE CITY ENGINEER, AND SHALL EXTEND COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE. EARTHEN DIKES MAY NOT BE USED AS VELOCITY CHECK DAMS.

STREET GRADE	CHECK DAM INTERVAL
LESS THAN 2%	AS REQUIRED
2% TO 4%	100 FEET
4% TO 10%	50 FEET
OVER 10%	25 FEET

CHANNEL GRADE	CHECK DAM INTERVAL
LESS THAN 3%	100 FEET
3% TO 6%	50 FEET
OVER 6%	25 FEET

- PROVIDE VELOCITY CHECK DAMS IN ALL UNPAVED GRADED CHANNELS AT THE INTERVALS INDICATED BELOW UNLESS CHANNELS ARE LINED WITH TEMPORARY MATERIALS SUCH AS PLASTIC SHEETING.
- A GRAVEL BAG SILT BASIN, OR SILT TRAP, SHALL BE PROVIDED AT EVERY STORM DRAIN INLET TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM.
- A GUARD SHALL BE POSTED ON SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO FEET.
- ALL REMOVABLE PROTECTION DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN FORECAST PROBABILITY EXCEEDS 40%. AFTER EACH RAINSTORM EXCEEDING 1/4 INCH IN A 12 HOUR PERIOD, SILT AND DEBRIS SHALL BE REMOVED FROM CHECK DAMS AND DESILTING BASINS, AND BASINS SHALL BE PUMPED DRY.
- EFFECTIVE PLANTING SHALL BE INSTALLED, FULLY GERMINATED, AND SHALL EFFECTIVELY COVER THE REQUIRED SLOPES PRIOR TO FINAL APPROVAL. THE PLANTING MIX SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO INSTALLATION. SPRINKLER SYSTEMS ARE REQUIRED ON ALL SLOPES OVER FIVE FEET IN HEIGHT. TEMPORARY SPRINKLER SYSTEMS WILL BE REQUIRED ON ALL SLOPES UNTIL PLANTING IS ESTABLISHED, AND MAY NOT BE REMOVED WITHOUT PRIOR APPROVAL OF THE CITY ENGINEER.
- GRAVEL BAGS AND NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES OR TO REPAIR ANY DAMAGED EROSION CONTROL MEASURES, WHEN RAIN IS IMMINENT. A STAND-BY CREW SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON.
- ANY PROPOSED ALTERNATE EROSION CONTROL MEASURES ARE TO BE RECOMMENDED BY THE ENGINEER OF WORK, FOR APPROVAL BY THE CITY ENGINEER, PRIOR TO INSTALLATION.
- FROM OCTOBER 1ST THROUGH APRIL 30TH OF EACH YEAR, COV MUNICIPAL CODE, CHAPTER 17.56, REQUIRES THAT ALL DENUDED SLOPE FACES BE PROTECTED FROM EROSION, AND THAT ALL SEDIMENT BE KEPT ON SITE. THE USE OF INDUSTRY STANDARD SLOPE PROTECTION AND SEDIMENT CONTROL METHODS ARE REQUIRED TO BE IN PLACE AND MAINTAINED 24 HOURS A DAY/7 DAYS A WEEK.

EROSION CONTROL NOTES (cont'd.)

- MATERIALS AND WASTE WITH THE POTENTIAL TO POLLUTE URBAN RUN-OFF SHALL BE USED IN ACCORDANCE WITH LABEL DIRECTIONS AND SHALL BE STORED IN A MANNER THAT EITHER PREVENTS CONTACT WITH RAINFALL OR CONTAINS CONTAMINATED RUN-OFF FOR TREATMENT AND DISPOSAL.
- THE OWNER DESIGNATED 24-HOUR TELEPHONE NUMBER AND THE NAME(S) OF THE PERSON(S) RESPONSIBLE FOR EMERGENCY WORK APPEARS BELOW AND SHALL AT ALL TIMES BE POSTED IN A CONSPICUOUS PLACE ON-SITE TO FACILITATE PUBLIC REPORTING OF PROBLEMS. (A TELEPHONE ANSWERING MACHINE OR ANSWERING SERVICE IS UNACCEPTABLE.)

 TONY DEANGELO
 NAME
 (424) 284-7793
 24 HOUR PHONE NUMBER

 CONTRACTOR SHALL IMPLEMENT AND MAINTAIN ON-SITE AT ALL TIMES A STORMWATER MANAGEMENT PLAN (SWMP) OR STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN CITY APPROVED FORMAT WHICH IS HEREBY INCORPORATED WITH THESE PLANS BY REFERENCE. SAID PLAN SHALL BE KEPT CURRENT AND REFLECTIVE OF CURRENT SITE CONDITIONS.

 HYDROSEED MIX ONE
 CONDITION: HIGH VISIBILITY, HIGHLY ORNAMENTAL AREAS (ADJACENT TO ROADWAYS, RESIDENTIAL SLOPES, PARK AREAS, ETC.). IN ADDITION, THIS MIX IS SUITED TO ALL SLOPE HEIGHTS. HOWEVER, DUE TO THE RELATIVELY SMALLER MATURE SIZE OF THE PLANT MATERIAL, IT IS ESPECIALLY SUITED TO SLOPES LESS THAN TEN FEET IN HEIGHT. IN THESE CONDITIONS, THE PLANT MATERIAL WILL NOT EXTEND MUCH BEYOND THE LIMITS OF THE SLOPE.

APPLICATION RATE	BOTANICAL NAME
NURSE CROP	
3 LBS/ACRE	LOBULARIA MARITIMA 'CARPET OF SNOW' (1)
3 LBS/ACRE	LOBULARIA MARITIMA 'ROYAL CARPET' (2)
3 LBS/ACRE	ENCHOCHOLZIA CALIFORNICA
3 LBS/ACRE	LINUM GRANDIFLORUM 'RUBRUM'
PERENNIALS	
9 LBS/ACRE	ATRIPLEX SEMIBACCATA
5 LBS/ACRE	GAZANIA 'FRIXIE DELIGHT' (3)
6 LBS/ACRE	LIMONIUM PEREZII
2 LBS/ACRE	OENOTHERA CHEIRANTHIFOLIA
SHRUBS/TREES	
2 LBS/ACRE	ACACIA SALIGNA
3 LBS/ACRE	MIMULUS PUNICEUS
4 LBS/ACRE	ENCELIA COLIFORNICA
3 LBS/ACRE	CISTUS CORSICUS
47 LBS/ACRE TOTAL	

 % MINIMUM PURITY OF SEED - 95
 (1) CAN BE USED WITHOUT 'ROYAL CARPET' AT THE RATE OF 5 LBS/ACRE
 (2) CAN BE USED WITHOUT 'CARPET OF SNOW' AT THE RATE OF 5 LBS/ACRE
 (3) CAN BE SPECIFIED IN EITHER WHITE, ORANGE OR YELLOW, OR MIXED

 HYDROSEED MIX TWO
 CONDITION: MODERATE VISIBILITY (INTERIOR SLOPES OF COMMERCIAL AND INDUSTRIAL DEVELOPMENTS).

APPLICATION RATE	BOTANICAL NAME
NURSE CROP	
3 LBS/ACRE	LOBULARIA MARITIMA 'CARPET OF SNOW' (4)
3 LBS/ACRE	LOBULARIA MARITIMA 'ROYAL CARPET' (5)
3 LBS/ACRE	ENCHOCHOLZIA CALIFORNICA
2 LBS/ACRE	LINUM GRANDIFLORUM 'RUBRUM'
PERENNIALS	
14 LBS/ACRE	ERIGONUM FASCICULATUM
8 LBS/ACRE	LOTUS SCOPARIUS
9 LBS/ACRE	ATRIPLEX SEMIBACCATA
7 LBS/ACRE	ATRIPLEX GLAUCA
3 LBS/ACRE	ARTEMISIA PYNOCHEPHALA
SHRUBS/TREES	
2 LBS/ACRE	MIMULUS PUNICEUS
3 LBS/ACRE	ENCELIA COLIFORNICA
5 LBS/ACRE	VQUIERA LACINILATA
2 LBS/ACRE	SALVIA CLEVELANDII
2 LBS/ACRE	SALVIA MELIFERA
67 LBS/ACRE TOTAL	

 NOTE: FOR NON-IRRIGATED APPLICATION, INCREASE THE APPLICATION RATE BY 20% OF THE FOLLOWING SPECIES: ERIGONUM FASCICULATUM, ATRIPLEX GLAUCA, ATRIPLEX SEMIBACCATA, ENCELIA COLIFORNICA.

 NON-IRRIGATED APPLICATION REQUIRES THE PRIOR APPROVAL OF THE PLANNING DEPARTMENT.

 % MINIMUM PURITY OF SEED - 95
 (4) CAN BE USED WITHOUT 'ROYAL CARPET' AT THE RATE OF 5 LBS/ACRE
 (5) CAN BE USED WITHOUT 'CARPET OF SNOW' AT THE RATE OF 5 LBS/ACRE

EROSION CONTROL NOTES (cont'd.)

- HYDROSEED MIX THREE
 CONDITION: LOW VISIBILITY, OPEN SPACE AREAS.

APPLICATION RATE	BOTANICAL NAME
NURSE CROP	
10 LBS/ACRE	BROMUS RUBENS
3 LBS/ACRE	ENCHOCHOLZIA CALIFORNICA
PERENNIALS	
10 LBS/ACRE	ATRIPLEX SEMIBACCATA
8 LBS/ACRE	LOTUS SCOPARIUS
10 LBS/ACRE	ATRIPLEX GLAUCA
8 LBS/ACRE	CARNASCENE
2 LBS/ACRE	HAPLOPAPPUS VENETUS
SHRUBS/TREES	
3 LBS/ACRE	MIMULUS PUNICEUS
3 LBS/ACRE	ENCELIA COLIFORNICA
5 LBS/ACRE	VQUIERA LACINILATA
3 LBS/ACRE	BACCHARIS PILULARIS
67 LBS/ACRE TOTAL	'CONSANGUENA'

 NOTE: FOR NON-IRRIGATED APPLICATION, INCREASE THE APPLICATION RATE BY 20% OF THE FOLLOWING SPECIES: ATRIPLEX SEMIBACCATA, ENCELIA COLIFORNICA, ERIGONUM FASCICULATUM, ATRIPLEX GLAUCA, NON-IRRIGATED APPLICATION REQUIRES THE PRIOR APPROVAL OF THE PLANNING DEPARTMENT.

 % MINIMUM PURITY OF SEED - 95

NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN EXPIRES:
 THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

CITY of VISTA

EROSION CONTROL DETAILS FOR:

SPROUTS FARMERS MARKET

ADDRESS: NWC OF E. VISTA WAY & MONTE MAR RD

APPROVED _____

FOR CITY ENGINEER _____ 70128 9/30/20 RCE EXP. LIC. DATE DATE

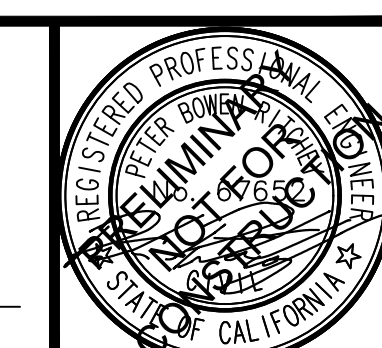
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SHEET 14 OF 17
 GP18-032

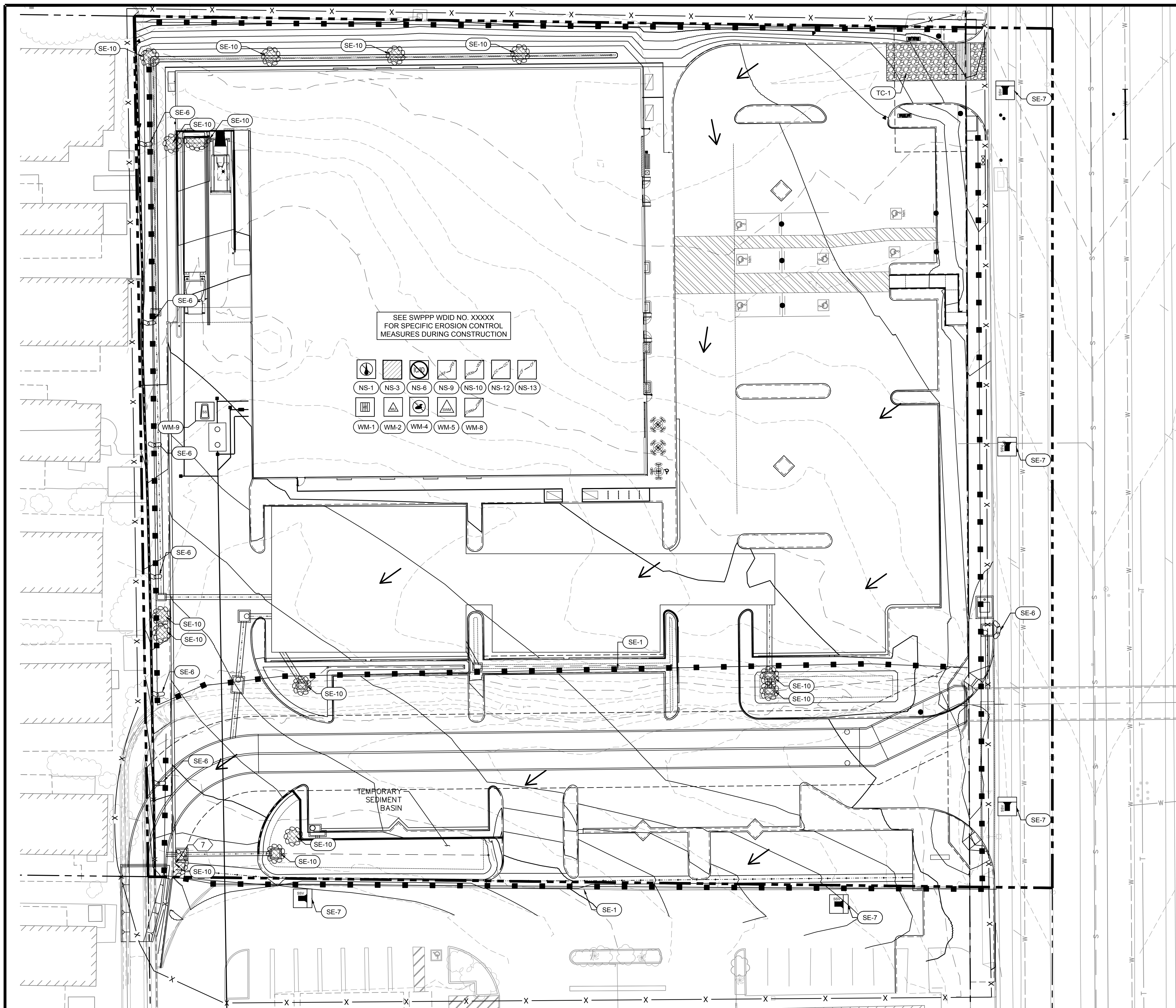
Kimley Horn

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67652 06/30/2019
 ENGINEER OF WORK RCE EXP. LIC. DATE DATE



NO.	DESCRIPTION	QTY	DATE	VID	DATE



SEE SWPPP WDD ID NO. XXXXX FOR SPECIFIC EROSION CONTROL MEASURES DURING CONSTRUCTION

- | | | | | | | |
|------|------|------|------|-------|-------|-------|
| | | | | | | |
| NS-1 | NS-3 | NS-6 | NS-9 | NS-10 | NS-12 | NS-13 |
| | | | | | | |
| WM-1 | WM-2 | WM-4 | WM-5 | WM-8 | | |

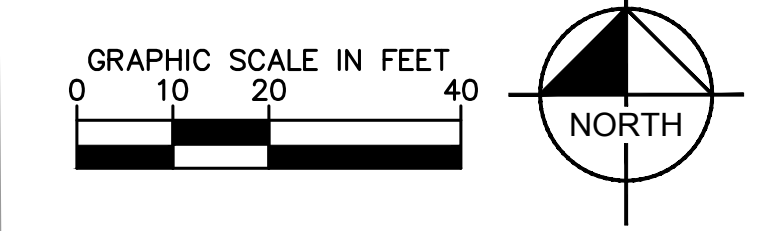
DESCRIPTION*	SYMBOL	NOTES	QTY
TC-1 ~ STABILIZED CONSTRUCTION ENTRANCE			1
SE-6 ~ GRAVEL BAGS		-	2
SE-7 ~ STREET SWEEPING & VACUUMING		AS NEEDED	-
SE-10 ~ STORM DRAIN INLET PROTECTION		-	6
NS-1 ~ WATER CONSERVATION PRACTICES		-	-
NS-3 ~ PAVING & GRINDING OPERATIONS		-	-
NS-6 ~ ILLICIT CONNECTION/DISCHARGE		-	-
NS-9 ~ VEHICLE & EQUIPMENT FUELING		-	-
NS-10 ~ VEHICLE & EQUIPMENT MAINTENANCE		-	-
NS-12 ~ CONCRETE CURING		-	-
NS-13 ~ CONCRETE FINISHING		-	-
WM-1 ~ MATERIAL & DELIVERY STORAGE		-	-
WM-2 ~ MATERIAL USE		-	-
WM-4 ~ SPILL PREVENTION CONTROL		-	-
WM-5 ~ SOLID WASTE MANAGEMENT		-	-
WM-8 ~ CONCRETE WASTE MANAGEMENT		-	-
WM-9 ~ SANITARY/SEPTIC WASTE MANAGEMENT		-	1

*2012 CONSTRUCTION BMP HANDBOOK/PORTAL AND CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA)

SE-1 ~ SILT FENCE			1,070 L.F.
DIRECTIONAL DRAINAGE ARROW			
CONSTRUCTION FENCE AND WINDSCREEN			1,462 L.F.

SITE DEVELOPMENT PLAN EXPIRES:
THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

STORMWATER
INSPECTION PRIORITY HIGH WDD NO. TBD



CITY of VISTA

EROSION CONTROL PLAN FOR:

SPROUTS FARMERS MARKET

ADDRESS: NWC OF E. VISTA WAY & MONTE MAR RD

APPROVED

FOR CITY ENGINEER: 70128 9/30/20 RCE EXP. LIC. DATE

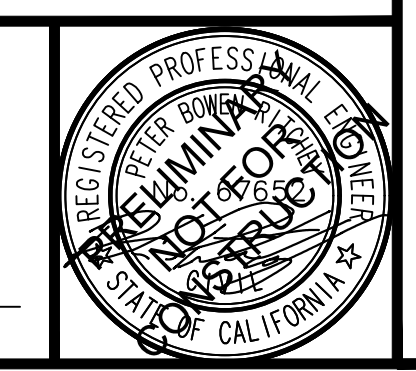
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SHEET 15 OF 17

GP18-032

Kimley»Horn

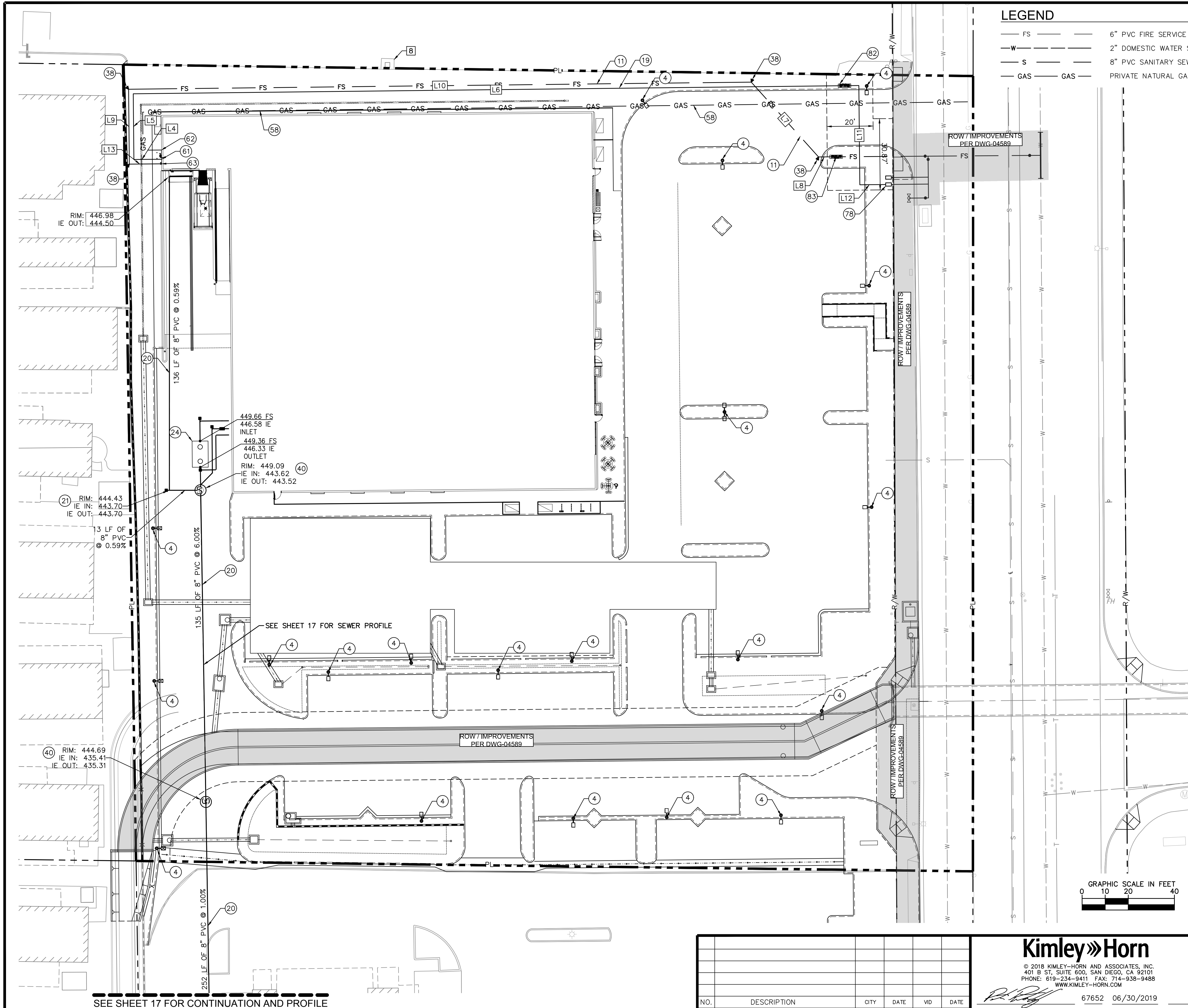
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PHONE: 619-234-9411 FAX: 714-938-9488
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NO.	DESCRIPTION	QTY	DATE	VID	DATE
	APPROVED CHANGES				

ENGINEER OF WORK: Peter Horn 67652 06/30/2019 RCE EXP. LIC. DATE

NOT FOR CONSTRUCTION



LEGEND

- FS — 6" PVC FIRE SERVICE LINE
- W — 2" DOMESTIC WATER SERVICE
- S — 8" PVC SANITARY SEWER SERVICE
- GAS — PRIVATE NATURAL GAS LINE

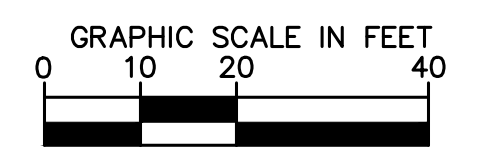
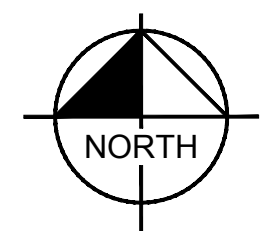
- CONSTRUCTION NOTES**
- ④ LIGHT POLE AND FOUNDATION
 - ⑪ NEW 6" PVC FIRE SERVICE LINE PER VID STD. DWG. 4-4 w/ REDUCED PRESSURE DETECTOR ASSEMBLY PER VID STD. DWG. 4-5
 - ⑲ INSTALL 2" DOMESTIC WATER LINE (PRIVATE) PER VID 1-2, TRENCH PER VID 5-2
 - ⑳ INSTALL 8" SDR-35 GREEN SEWER LINE (PRIVATE), TRENCH PER SDRSD SP-02
 - ㉑ INSTALL SANITARY SEWER CLEANOUT PER SDRSD SC-01
 - ㉔ 1500 GALLON, 3-COMPARTMENT GREASE INTERCEPTOR FURNISHED AND INSTALLED BY LANDLORD
 - ㉚ CONCRETE THRUST BLOCK PER VID 5-7 & 5-8
 - ㉔ 48" DIAMETER MH PER COV SD NO. SWR-03
 - ㉚ PRIVATE NATURAL GAS LINE BY OTHERS
 - ㉑ DOMESTIC WATER SERVICE POC (5-FT FROM BUILDING FACE). REFER TO PLUMBING PLANS FOR CONTINUATION
 - ㉒ NATURAL GAS BUILDING POC BY OTHERS
 - ㉓ FIRE SERVICE BUILDING POC (5-FT FROM BUILDING FACE). REFER TO PLUMBING PLANS FOR CONTINUATION
 - ㉚ 2" DOMESTIC WATER METER, 17" x 30" WATER METER BOX WITH LID TO BE FURNISHED AND INSTALLED BY THE VISTA IRRIGATION DISTRICT PER VID STDS 1-2, 1-4, 1-7
 - ㉒ INSTALL 2" REDUCED PRESSURE DETECTOR ASSEMBLY PER VID STDS 1-7
 - ㉓ INSTALL 6" FIRE SERVICE REDUCED PRESSURE DETECTOR ASSEMBLY PER VID STDS 4-5

PROTECT EXISTING NOTES

⑧ PROTECT IN PLACE (E) CATCH BASIN

UTILITY DATA TABLE

XX	DELTA OR BRG	RADIUS	LENGTH	REMARKS
L4	S 89°29'43" W		6.98'	2" PVC DOMESTIC WATER
L5	N 0°35'28" W		28.46'	2" PVC DOMESTIC WATER
L6	N 89°20'43" E		314.44'	2" PVC DOMESTIC WATER
L7	S 41°57'05" E		43.59'	2" PVC DOMESTIC WATER
L8	N 89°36'00" E		4.90'	6" FIRE SERVICE, C-900 (DR-14)
L9	N 0°34'14" W		32.45'	6" FIRE SERVICE, C-900 (DR-14)
L10	N 89°20'43" E		269.84'	6" FIRE SERVICE, C-900 (DR-14)
L11	S 0°34'11" E		43.02'	6" FIRE SERVICE, C-900 (DR-14)
L12	N 89°25'46" E		11.20'	6" FIRE SERVICE, C-900 (DR-14)
L13	S 89°29'43" W		8.97'	6" FIRE SERVICE, C-900 (DR-14)



SITE DEVELOPMENT PLAN EXPIRES:
THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

STORMWATER
INSPECTION PRIORITY HIGH W/DID NO. TBD

CITY of VISTA

UTILITY PLAN FOR:

SPROUTS FARMERS MARKET

ADDRESS: NWC OF E. VISTA WAY & MONTE MAR RD

APPROVED _____ 70128 9/30/20

FOR CITY ENGINEER RCE EXP. LIC. DATE DATE SHEET 16 OF 17

BENCH MARK: CV82-91, FOUND LEAD & CONCRETE NAIL AT BEGINNING CURB RETURN OF E VISTA WAY & FOOTHILL DRIVE. ELEVATION: 445.090. NAVD88.

GP18-032

Kimley»Horn

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401 B ST, SUITE 600, SAN DIEGO, CA 92101
PHONE: 619-234-9411 FAX: 714-938-9488
WWW.KIMLEY-HORN.COM

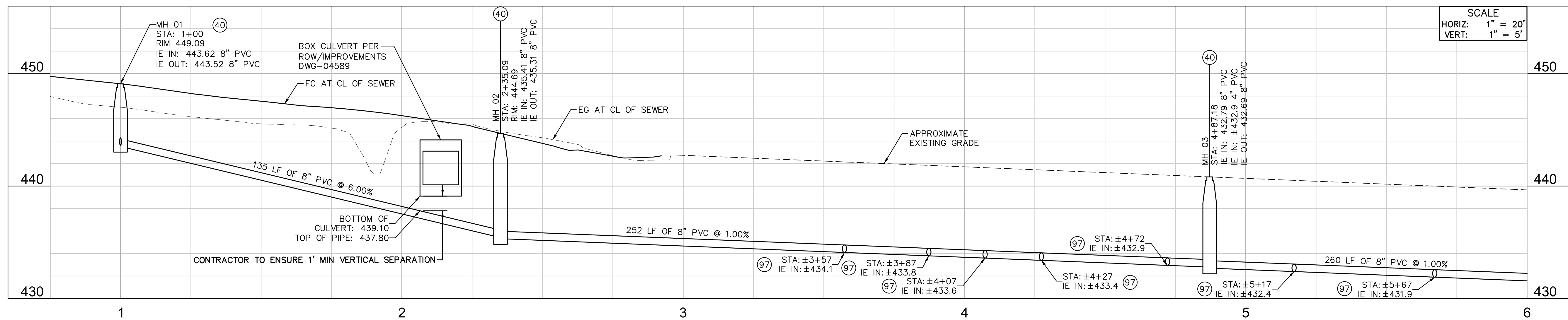


NO.	DESCRIPTION	QTY	DATE	VID	DATE

APPROVED CHANGES

ENGINEER OF WORK RCE EXP. LIC. DATE DATE

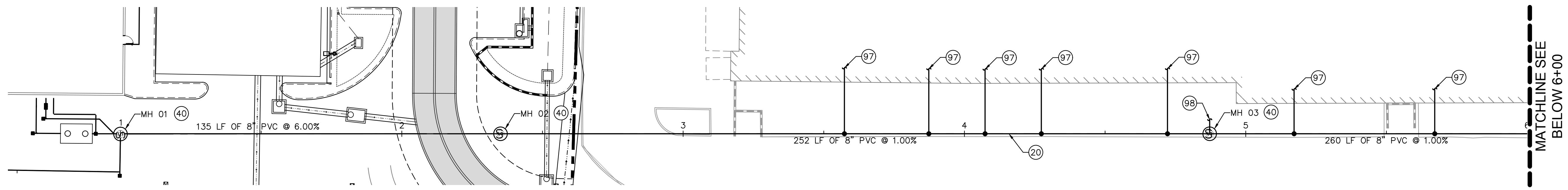
NOT FOR CONSTRUCTION



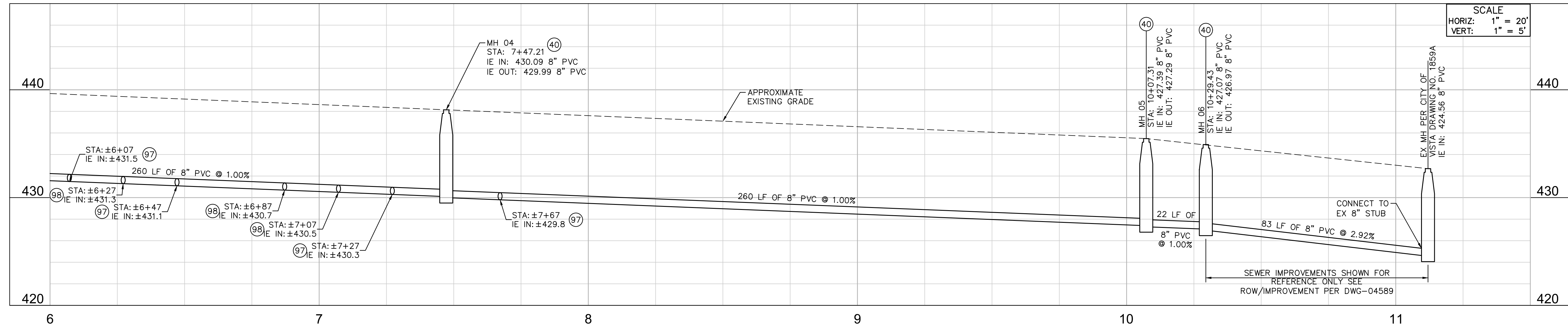
SCALE
HORIZ: 1" = 20'
VERT: 1" = 5'

- LEGEND**
- FS — 6" PVC FIRE SERVICE LINE
 - W — 2" DOMESTIC WATER SERVICE
 - S — 8" PVC SANITARY SEWER SERVICE
 - GAS — GAS — PRIVATE NATURAL GAS LINE

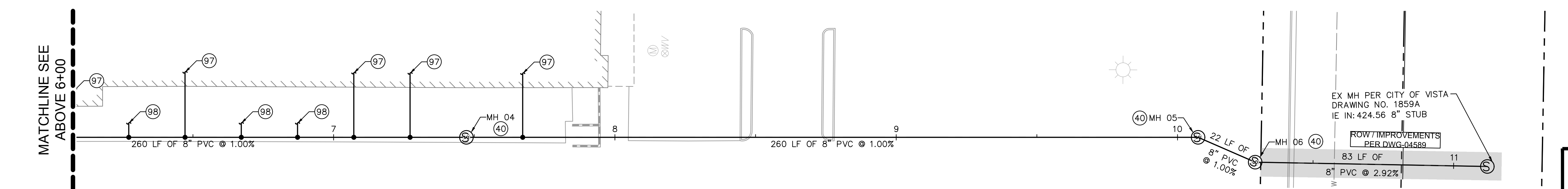
- CONSTRUCTION NOTES**
- (20) INSTALL 8" SDR-35 GREEN SEWER LINE (PRIVATE), TRENCH PER SDRSD SP-02
 - (40) 48" DIAMETER MH PER COV SD NO. SWR-03
 - (97) INSTALL 4" SEWER LATERAL PER SDRSD SS-01. STUBBED WITH IN BUILDING
 - (98) INSTALL 4" SEWER LATERAL PER SDRSD SS-01. 5' STUB.



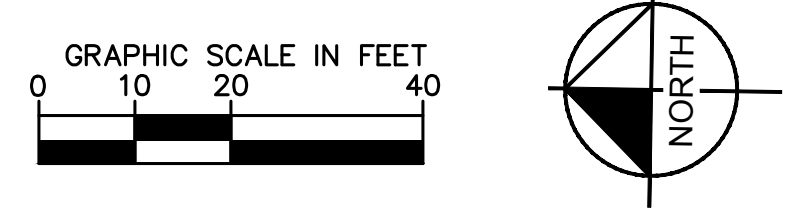
MATCHLINE SEE BELOW 6+00



SCALE
HORIZ: 1" = 20'
VERT: 1" = 5'



MATCHLINE SEE ABOVE 6+00



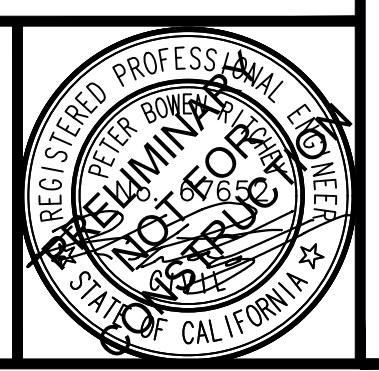
SITE DEVELOPMENT PLAN EXPIRES:
THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

STORMWATER
INSPECTION PRIORITY HIGH WDD NO. TBD

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67652 06/30/2019
ENGINEER OF WORK RCE EXP.LIC.DATE DATE



CITY of VISTA

SEWER PROFILE FOR:

SPROUTS FARMERS MARKET

ADDRESS: NWC OF E. VISTA WAY & MONTE MAR RD

APPROVED _____ 70128 9/30/20
FOR CITY ENGINEER RCE EXP. LIC. DATE DATE

BENCH MARK: CV82-91, FOUND LEAD & CONCRETE NAIL AT BEGINNING CURB RETURN OF E VISTA WAY & FOOTHILL DRIVE. ELEVATION: 445.090. NAVD88.

SHEET 17 OF 17
GP18-032

NOT FOR CONSTRUCTION

RJR Vacaville, LLC
Vista Terrace Marketplace
R9-2018-0082

ATTACHMENT 4

CEQA MITIGATION REQUIREMENTS

1. Mitigation Monitoring and Reporting Program, Vista Sprouts Market Project, Attachment B, June 2018.

CITY OF VISTA
MITIGATION MONITORING AND REPORTING PROGRAM
FOR THE
VISTA SPROUTS MARKET PROJECT MND - PC18-0111

June 2018

Project Name:	Vista Sprouts Market Project
Description:	The proposed project includes a Site Development Plan and Special Use Permit for a 26,616 SF commercial development located on a 2.6 acre site. Additional improvements include a 135-space parking lot, landscaping, lighting and channelization of a portion of Buena Vista Creek.
Location:	The subject property (APN: 173-050-32) is located on the west side of East Vista Way across from Monte Mar Road, approximately 815 feet north of the East Bobier Drive-Foothill Drive/East Vista Way intersection, in the city of Vista, California.

The following Mitigation Measures have been incorporated into the project design or are to be implemented before or during construction in accordance with the Conditions of Project Approval, thereby reducing all identified potential impacts to less than significant levels.

MITIGATION MEASURES	STAFF MONITOR	TIMING OF COMPLIANCE	DATE OF COMPLIANCE
<p>BIO-1 The Project shall mitigate the proposed impact to NNG at a 0.5:1 ratio with the required minimum 0.83 acre of NNG or other Group B, C or D habitat in a conservation or mitigation bank to the satisfaction of the City. Satisfaction of this measure would fully mitigate the loss of NNG habitat at the site.</p>	<p>Director of Community Development</p>	<p>Prior to issuance of a Grading Permit</p>	
<p>BIO-2 The Project shall satisfy the federal and state no-net-loss standard and shall mitigate the proposed impact to wetlands at with a minimum 1:1 ratio of acquisition of wetland creation credits from the Brook Forest Conservation/Mitigation Bank or other mitigation bank, subject to approval by CDFW, RWQCB, and the Corps. Satisfaction of this measure would fully mitigate the loss of wetland habitat at the site.</p>	<p>Director of Community Development</p>	<p>Prior to issuance of a Grading Permit</p>	
<p>BIO-3 All vegetation removal will be performed prior to or after the bird-breeding season, January 1 through September 15 (i.e., only between September 16 and December 31). If clearing is planned to occur during the breeding season, pre-construction nest surveys shall be conducted prior to any clearing. Work may proceed if no active bird nests are detected. By avoiding clearing during the bird-breeding season, or performing surveys to ensure no active nests are present prior to clearing, the proposed project will ensure compliance with the MBTA and pertinent sections of the CFG Code.</p>	<p>Director of Community Development</p>	<p>Two weeks prior to the start of construction</p>	
<p>CR-1 Cultural resource mitigation monitoring shall be conducted on the site to provide for the identification, evaluation, treatment, and protection of any cultural resources that are affected by or may be discovered during the construction of the proposed project. The monitoring shall consist of the full-time presence of a Qualified Archaeologist and a TCA (traditionally and culturally affiliated) Native American Monitor for, but not limited to, any clearing or grubbing of vegetation, tree removal, demolition and/or removal of remnant foundations, pavements, abandonment and/or installation of infrastructure; grading or any other ground disturbing or altering activities, including the placement of any imported fill materials (note: all fill materials shall be absent of any and all cultural resources); and related road improvements, including, but not limited to, the installation of infrastructure, and the realignments and/or expansions to E. Vista Way or adjacent parking lots used for reciprocal parking agreements. Other tasks of the monitoring program shall include the following:</p>	<p>City Planner</p>	<p>Prior to issuance of a Grading Permit</p>	

MITIGATION MEASURES	STAFF MONITOR	TIMING OF COMPLIANCE	DATE OF COMPLIANCE
<ul style="list-style-type: none"> The requirement for cultural resource mitigation monitoring shall be noted on all applicable construction documents, including demolition plans, grading plans, etc. The Qualified Archaeologist and TCA Native American Monitor shall attend all applicable pre-construction meetings with the Contractor and/or associated Subcontractors to present the archaeological monitoring program. The Qualified Archaeologist shall maintain ongoing collaborative consultation with the TCA Native American Monitor during all ground disturbing or altering activities, as identified above. The Applicant, or Owner, and/or Grading Contractor shall notify the Director of Community Development, preferably through e-mail, of the start and end of all ground-disturbing activities. The Qualified Archaeologist and/or TCA Native American Monitor may halt ground-disturbing activities if archaeological artifact deposits or cultural features are discovered. In general, ground-disturbing activities shall be directed away from these deposits for a short time to allow a determination of potential significance, the subject of which shall be determined by the Qualified Archaeologist and the TCA Native American Monitor, in consultation with the San Luis Rey Band. Ground disturbing activities shall not resume until the Qualified Archaeologist, in consultation with the TCA Native American Monitor, deems the cultural resource or feature has been appropriately documented and/or protected. At the Qualified Archaeologist's discretion, the location of ground disturbing activities may be relocated elsewhere on the project site to avoid further disturbance of cultural resources. The avoidance and protection of discovered unknown and significant cultural resources and/or unique archaeological resources is the preferable mitigation for the proposed project. If avoidance is not feasible, a Data Recovery Plan may be authorized by the City as the Lead Agency under CEQA. If data recovery is required, then the San Luis Rey Band shall be notified and consulted in drafting and finalizing any such recovery plan. 	<p>City Planner</p>	<p>Prior to issuance of a Grading Permit</p>	